



PLANNING COMMISSION – REGULAR MEETING

Township Board Room – 8555 Kalamazoo Ave SE, Caledonia, MI 49316

DRAFT Agenda

7:00 p.m. – Thursday, May 28th, 2026

1. Call to Order and Roll Call
2. Consideration of Agenda
3. Consideration of **April 15th, 2026, and April 23rd, 2026**, Meeting Minutes
4. Inquiry of Conflict of Interest
5. Public Comment
6. Items for Consideration
 - A. **Public Hearing** 1651 Marketplace Drive – Special Use Permit and Site Plan Review – MSU Federal Credit Union
7. General Discussion
 - A. 410 76th Street – Concept Plan
8. Adjournment

DRAFT Minutes of the Gaines Charter Township Planning Commission

Special Meeting held April 15th, 2026, at 6 pm

South Christian High School Auditorium

7979 Kalamazoo Ave SE, Byron Center, MI 49315

MEMBERS PRESENT: Waayenberg, Rober, Thomas, Haagsma, Billips, Wiersema, Giarmo

MEMBERS ABSENT: None.

STAFF PRESENT: Dan Wells, Community Development Director; Dakota Swan, Assistant Planner; Rod Weersing, Township Manager; Cliff Bloom; Township Attorney

1. CALL TO ORDER AND ROLL CALL

Chair Waayenberg called the meeting to order at 6:00 PM.

2. CONSIDERATION OF MEETING AGENDA

The agenda was approved as presented.

3. INQUIRY OF CONFLICT OF INTEREST

None.

4. PUBLIC COMMENT

Motion:	Motion by Wiersema, supported by Giarmo, to open the public comment period pertaining to any items not on the agenda.
DISCUSSION:	None.
AYES:	All
NAYS:	None
ABSTAIN:	None
DECISION:	Motion Carried (7-0)

An anonymous community member stressed that the Planning Commission works for the public rather than interest groups.

Leonna Church expressed that she not supportive of the project and is disappointed by Steelcase's sale of the property.

Melinda Dumars, a resident who lives between 68th Street and 76th Street, urged the Planning Commission to address drag racing that occurs in the area.

Dave Duncan of 2105 76th Street reminded the Planning Commission that they work for the public.

John of 7644 Harmony Cove echoed previous concerns about traffic and high speeds, noting that 76th Street feels particularly dangerous.

Ashley, referring to the intersection of 60th Street and Kraft Avenue, reported that tall grass in the right-of-way is limiting visibility and causing safety concerns.

Tim VanDyke, who lives near 76th Street and Kalamazoo, echoed previous concerns about drag racing in the area.

An anonymous resident expressed similar concerns about traffic safety, citing a traffic death which occurred on Kalamazoo between 92nd Street and 100th Street.

Jason Boersema of Old Lantern Drive suggested that traffic lights on Eastern Avenue at 76th Street and 84th Street give better indication of 4-way-stops, specifically for the purpose of night driving.

Marcus Ringnalda expressed gratitude to the Township for a recent community open house to collect feedback on outdoor initiatives, noting that he is excited about increased recreational opportunities.

Andy Wyngarten of 8414 Kalamazoo Avenue expressed concern about the loss of farmland south of 84th Street.

Mark Apaldi of Hartman Drive reiterated earlier comments regarding traffic safety, specifically on 68th Street.

John, a Township resident of 30+ years, stated that the Gaines Marketplace area is “a mess”, and that he hopes the handling of this request goes smoother.

Keith, a resident of Cook’s Crossing, commented that there are a lot of great green spaces in the area, however, there are opportunities to make the area more bike-friendly.

Angela Rigas, State Representative for Michigan’s 79th District, shared earlier concerns about industrial traffic safety on 68th Street.

An employee of the local Target at 1925 Marketplace Drive expressed concern regarding the safety of the parking lot, specifically at night.

Stephanie Pratt of 4642 76th Street echoed earlier comments regarding traffic safety on 68th Street and 76th Street.

Laurie from Big Rapids referenced an instance in which members of the governing body in Big Rapids were recalled by members of the public.

Chloe from Grand Rapids urged the Planning Commission to “do better, be better”.

Motion:	Motion by Giarmo, supported by Haagsma, to close the public comment period for any items not on the agenda.
DISCUSSION:	None.
AYES:	All
NAYS:	None
ABSTAIN:	None
DECISION:	Motion Carried (7-0)

5. ITEMS FOR CONSIDERATION

A. Public Hearing;

- **7147 Patterson Avenue, Conditional Rezone from Steelcase PUD-LSP to Light Industrial**
- **6900 East Paris Avenue, Rezoning from Steelcase PUD-LSP to Light Industrial**
- **4233 76th Street, 4367 76th Street, and 4645 76th Street, Rezoning from Agricultural/Rural Residential to Light Industrial**

Jonah Mills, Microsoft’s Land Development Manager for this project, was joined by several other Microsoft representatives to offer an overview of the proposed rezoning. Mills stated that the application includes several rezoning conditions which will be enforceable by contract and zoning law. Microsoft has committed to investing in the community by preparing to enter a contractual agreement to hire local contractors, paying for long anticipated infrastructure upgrades, and dedicating a 9-acre piece of land to the Township for recreational purposes, said Mills. He added that Microsoft is also committed to using as little water as possible, and ensuring that residents will not experience rate increases on behalf of their project.

Mills stated that conditions outlined in the rezoning request address several requirements of the Zoning Ordinance and concerns brought up by the community, including sound, light, emissions, water use, decommissioning provisions, screening, and low vibrational sounds. The list of conditions also provides guidance for several matters not addressed in the Zoning Ordinance, indicating that Microsoft is committing to improvements and rules of conduct beyond what is required in the Zoning Ordinance. Mills noted that this is a very early phase in the project, however, Microsoft will do their best to answer any questions and collaborate with both the community and Township staff/officials.

Meredith Lizza, Microsoft's Community Affairs Manager, elaborated on Microsoft's commitment to the Township and desire to strengthen local partnerships. Lizza referenced instances of Microsoft's investment into other Midwestern municipalities, such as partnerships in Ohio and West Des Moines, Iowa, to fund wetland and habitat restoration, water quality improvements, and expand access and education across the community.

Dan Wells, the Community Development Director for Gaines Charter Township, shared an overview and assessment of the project. Wells discussed the proposed rezoning from Township staff's perspective, informed by standards and recommendations of the Gaines Charter Township Zoning Ordinance. Wells explained that this area of the Township has long been designated for industrial use and reiterated that the conditions included as part of this rezoning request set enforceable standards for several matters not directly addressed in the ordinance. Staff found that the application is consistent with the intent and recommendations of the 2023 Master Plan and satisfies all standards of review outlined in Chapter 31 of the Zoning Ordinance, "Zoning Amendment Review", and therefore endorse a positive recommendation of the rezoning request.

The Planning Commission then had the opportunity to ask Microsoft any questions before the public hearing began. Chair Waayenberg reminded the audience of the Planning Commission's role for this request, which is to make a recommendation to the Township Board of Trustees.

Commissioners Wiersema and Giarmo asked for clarification regarding the proposed condition on decommissioning. Wells offered further detail on the decommissioning clause, which intends to ensure that Microsoft will properly decommission and demolish any structures should the project falls through. Commissioner Thomas inquired about the financial burden of decommissioning, to which Township Attorney, Cliff Bloom, replied that Microsoft would be responsible for all decommissioning fees. Bloom noted that more details will be solidified as the Township's legal team and Microsoft's legal team work to finalize exactly which conditions will be included in the final conditional rezoning contract.

Motion:	Motion by Rober, supported by Haagsma to open the public hearing at 7:31 PM.
DISCUSSION:	None.
AYES:	All
NAYS:	None
ABSTAIN:	None
DECISION:	Motion Carried (5-0)

Jason Boersema expressed support for the project, stating that he would rather see this opportunity and growth happening here than elsewhere in the Midwest, citing this as a well-regulated investment. John, a resident of Kent County, expressed concern and noted that although he is not necessarily anti-Microsoft, the Planning Commission has a lot to consider.

Molly, a resident on 76th Street stated that she does not believe residents will benefit from this investment and she is concerned about the loss of rural character.

Joe Davis of Caledonia said he is concerned about how the project will impact property values in the area.

Victoria Kane of 7049 Old Lantern Drive urged the Planning Commission to require any proposed data center to have a closed-loop system and use renewable energy.

Stacy of Caledonia expressed disapproval and noted that this proposal is different from the existing Switch facility, and requested adoption of a one-year moratorium.

Paul from Grand Rapids stated that he is concerned about power demand and Consumers Energy's ability to generate power.

Angela Rigas, State Representative for Michigan's 79th District, stated that she would like more information on the project and that she is a supporter of local decision-making.

Keith, a resident of Cook's Crossing and an IT professional, explained that he does not believe the existing Switch facility is an appropriate comparison for what Microsoft is proposing.

Tori from Grand Rapids expressed that she does not believe data centers are a light industrial use.

Jordan Chriswell, Township resident, expressed concern that Microsoft will not deliver on their promises, and supported the idea of a one-year moratorium.

John Hartwell, the union outreach coordinator for Operating Engineers Local 324, expressed support for the project as it would supply his skilled trades workers with employment and provide expanded opportunities for those in training.

Community member Sarah Lexo expressed concern regarding increases in water rates due to the project.

Daniel of Byron Center noted that he does not like the idea of potential pollution from the project.

Ryan, a representative for West Michigan Building trades, stated that Microsoft signed a contract with his organization, committing to employing local trades workers for the project should it come to fruition.

Christina Vissner of the Crystal Springs neighborhood expressed that she is concerned about the loss of nature, space, and potential health effects, specifically from sound exposure.

Chloe, a resident of the Township, expressed fear that the Planning Commission isn't representing the community's best interests but rather corporate interests.

Tim VanDyke, who lives near 76th Street and Kalamazoo, expressed concerns about the potential health effects of exposure to low vibrational noise, and noted that he doesn't believe fines are enough to hold Microsoft accountable.

Alex Gonzales, a resident of the Township, stated that he would like to see more research on the impacts of data centers to feel more comfortable, and expressed support for a one-year moratorium.

An additional IT professional who is a member of the community echoed previous concerns that Switch is not an adequate comparison.

Karin Sekelsky of Carpet Rose Drive said that she is concerned about risks to quality of life, and questions whose interests are being prioritized. She also expressed concern that the Township is lacking a noise ordinance.

Jeff, a resident of the Township, echoed previous concerns, specifically the lack of detail provided thus far on water use, wastewater, and power use.

Mark Lipaldi of Hartman Drive questioned why the public isn't able to vote on such a request, adding that he does not see much benefit to this project.

Thomas, a lifelong resident of West Michigan, shared that he fears how fast AI is advancing yet how little it is delivering on its promises, and added that he is concerned about increases in utility costs.

Liz Novak, a resident near 52nd Street and Kalamazoo Avenue, stated that she does not believe the Township stands a chance in court, should enforcement ever get to that point.

Tim Zandbergen of 4367 76th Street explained that the area in question was designated for industrial use several years ago, noting that a significantly more intense and obtrusive use could be proposed.

An anonymous resident of the Township who claimed to be an executive in data science for a Fortune 500 company stated that although in their industry, they do not support the project on behalf of environmental concerns.

Marcus Ringnalda, a 20-year resident of the Township, stated that he is supportive of the project as data centers are necessary and need somewhere to go, and he is worried about the impacts on future generations should this investment not be made in the Township.

David of the Steven's Pointe neighborhood expressed concern regarding potential environmental impacts from the project.

Travis of 5195 76th Street stated that him and his spouse are both healthcare professionals who are deeply concerned about the potential threats to quality of life associated with this project.

An anonymous resident echoed previous comments and added that they firmly believe Microsoft will prioritize profit over people.

Phi, a resident of the Township, expressed worries about his kids' future and stressed that he feels as though Microsoft is only concerned about profits.

Bill Hirsh of 8005 Breton Avenue stated that he has been farming in the Township for 35 years and is passionate about agriculture however he is concerned about losing farmland.

Cynthia Olson of 3925 Carpet Rose Drive stated that she recently spoke with Planner Wells and is disappointed that questions she posed during the conversation were not brought up during this meeting.

Dave Dunkin, a resident of the Township, expressed great concern regarding the loss of livestock and farmland, noting that he would like more clarity and concrete answers on the technology involved.

Mike Radley, who has a child that attends Dutton Elementary School, outlined the staff memo and highlighted potential deficiencies on which the Planning Commission could base a negative recommendation to the Township Board.

Tyler Gustman of 7081 Patterson Avenue said that he is not in support of the project and is worried given the close proximity of the land Microsoft owns to his property.

Stephanie Pratt of 4642 76th Street expressed concern over the proposed project, specifically that she does not believe a data center is a light industrial use, and voiced support for a one-year moratorium.

Jade Gustman of 7081 Patterson Avenue stated that she is worried about being able to sell her home, which is in very close proximity to the land Microsoft owns. She is also concerned about her well being impacted by construction.

Zach Abbott, a candidate running for State Representative in the 79th District, expressed concern regarding utility bill increases, noting that he chose to run on behalf of the affordability crisis.

Tom Leonard, candidate for Governor of Michigan, expressed that he is disappointed by the state subsidies and tax breaks that would be available to Microsoft at the state level.

Abigail, a resident of Dutton, stated that she is concerned about the wellbeing of future generations on behalf of this project, and noted that people have more power than money.

Brian, a resident of the Township, said that he is not in support of this project and is concerned about the lack of concrete evidence available for the Planning Commission to base their decision on.

David Johnson, a resident of the Township, stated that he came to the meeting open minded and didn't plan to speak, however after hearing previous testimonies, he is not supportive of the project.

Laurie, a resident of Big Rapids, shared testimony of a community effort in Big Rapids to recall and remove board members that were supportive of a proposed electric vehicle battery plant.

Scott of the Cherry Valley neighborhood in Caledonia posed the question of what about this proposal is in it for him, noting that Microsoft left him wondering what value they could add to his quality of life.

Sue of Copper Corner Drive stated that the Planning Commission deserves straight answers from Microsoft, and the public deserves straight answers from the Planning Commission.

A resident of the Township stated that construction jobs will be available regardless of what use is established on the property and expressed concerns regarding potential health effects.

Paula, a resident of Michigan, stated that she does not support the project, and shared information with the audience about organizing and getting involved in opposition initiatives.

Amanda, a resident who lives near 76th Street and Hanna Lake Avenue, stated that the light pollution emitted from Revolution Farms increases her concern for potentially obtrusive lighting at the Microsoft property.

A candidate running for State Representative in the 78th District stated that he plans to draft legislation that prohibits data centers from being built in Michigan, adding that they are "industrial parasites".

Christine, a resident of Cook's Crossing, expressed worries about water use and potentially toxic wastewater discharge.

Karina, a resident of the Township, expressed concern about high resource demand, and noted that the proposal from Microsoft appears to be vague, while advocating for a one-year moratorium.

Lucy, a high school student, expressed fear about AI stealing job opportunities, and stated that she would prefer to see an agricultural education center on the site where the project is being proposed.

Betty White, a fifth-generation Caledonia resident, reiterated previous concerns, highlighting that art is highly important to the human spirit and shouldn't be created by AI instead of humans.

Nicole Bukema, a prospective resident of Dutton, explained that her family is rescinding their plans to build a home in the area due to concerns about the proposed data center.

Kaitlyn, a senior environmental consultant from the Crystal Springs neighborhood, advised that the Township avoid the creation of a preventable problem and vote no on this request, rather than reacting and attempting to mitigate the issue after it has already manifested.

Cindy Forte of Carpet Rose Drive said that she is not supportive of the proposal and advocated for medical studies and a one-year moratorium.

A resident of the Township advocated against the proposed rezoning, specifying that this type of land use is inappropriate adjacent to residential areas.

A resident of Grand Rapids expressed concern regarding several things that people are using AI to replace, including therapists, teachers, lawyers, financial advisors, and relationships.

William of the Steven's Pointe neighborhood said that he is unsupportive of the project, specifically expressing concerns about corporate interests and potential impacts on the school across the street.

Shane Rieder of 7522 Carpet Rose Drive stated that he thinks the proposed park dedication Microsoft is offering is "kind of useless", and noted that he is concerned for his kids' wellbeing.

Kathy VanKuiken, a resident of the Township, expressed that she is unsupportive of the project and added that although some parcels are zoned as Light Industrial, she does not believe this project is a light industrial use.

Keith of 4410 76th Street strongly opposed the proposed rezoning and overall project, expressing concern regarding stormwater mitigation and advocating for a one-year moratorium.

Andy Wyngarden of 8414 Kalamazoo Avenue stated that he is not in favor of the project and is concerned about NDA's that have been dissolved, adding that Microsoft should be held accountable and required to pay for infrastructure upgrades.

A resident of the Township played audio from a data center reportedly located in Dowagiac, Michigan, and voiced strong opposition to the proposed rezoning.

Angela, a resident of the Township, said that public opposition to the project should be enough justification for the Planning Commission to make a negative recommendation.

Motion: Motion by Haagsma, supported by Rober to close the public hearing at 10:31 PM.
DISCUSSION: None.
AYES: All
NAYS: None
ABSTAIN: None
DECISION: Motion Carried (7-0)

Motion: Motion by Haagsma, supported by Rober, to take a ten-minute recess.
DISCUSSION: None.
AYES: All
NAYS: None
ABSTAIN: None
DECISION: Motion Carried (7-0)

Motion: Motion by Haagsma, supported by Giarmo, to return to order at 10:42 PM.
DISCUSSION: None.
AYES: All
NAYS: None
ABSTAIN: None
DECISION: Motion Carried (7-0)

Prior to deliberation, Chair Waayenberg noted that representatives for Consumers Energy and the Township Engineer were in attendance, should the Planning Commission have any questions pertaining to either.

Commissioner Haagsma said that he appreciates feedback received during the public hearing and highlighted some pieces of the rezoning contract that he believes need to be amended, such as decibel levels, decommissioning provisions, tax assessments, the proposed water system and water use, and enforcement provisions. Wiersema agreed and added low frequency sounds and vibrations.

Chair Waayenberg inquired about standard procedure for handling electronic waste; Mills responded that old technology gets recycled as much as possible and used in outreach programs or is otherwise properly disposed of. Giarmo expressed concern regarding wastewater protocol and water usage. Giarmo asked what guarantee there is that construction jobs will be sourced locally; Mills stated that

Microsoft was engaging with labor groups in the region prior to buying the land and is eager to work in Michigan as there is a historically strong labor force in the state.

Haagsma said that he would like to see more details regarding dewatering during construction, to which Mills responded that he can seek more information on this, noting that this is under the supervision of EGLE. Giarmo noted that she is most worried about noise that will be emitted from the project and asked whether a sound study will be conducted. Mills stated that Microsoft has conducted preliminary acoustic studies and they have initial estimates, but the final audible impact is uncertain until the site is laid out. Mills said Microsoft can provide more information at the next meeting and noted that there are several ways Microsoft approaches mitigating noise.

Commissioner Billips asked for further information on what Microsoft “paying their way” really looks like. Mills responded that when Microsoft enters into an agreement with a utility provider, they state their anticipated daily needs and pay up front for generation, transmission, and substations, if necessary. Billips also inquired about whether Microsoft has any evidence to support the claim that property values in the surrounding area won't be negatively impacted; Mills responded that internal discussions are ongoing on this topic, however, impacts to property values are highly variable depending on the context and geographic location.

Rober inquired about how power outages would impact Microsoft's operations: Mills responded that Microsoft would pay the infrastructure costs to improve the reliability of the grid and collaborate with local utility providers to alleviate stress on the grid. Rober also inquired about what the height of the buildings may be; Mills responded that they will be single-story, approximately 40 to 50 feet tall, but further detail will be provided during site plan review.

Haagsma expressed concern over the several unknowns associated with this application and stated he feels as though the Planning Commission is in a position to make a tabling motion. Attorney Bloom noted that the conditional rezoning agreement can be worked on and advised Microsoft to provide Township staff with any relevant additional information for any upcoming meetings.

Chair Waayenberg thanked those in attendance and said that this is still very early in the process.

Motion: Motion by Haagsma, supported by Wiersema, to table the request for a conditional rezoning and allow Microsoft and Township staff to provide answers to concerns posed by the Planning Commission.

DISCUSSION: Wiersema inquired and Mills elaborated further on the 9.5-acre park dedication, explaining that the site in question is still being evaluated and Microsoft is looking for other opportunities to invest in the community. Wiersema inquired about a potential discrepancy regarding the parcels involved, specifically one ending in -007 that he wasn't able to find on the Kent County GIS viewer. Microsoft's legal counsel clarified

that this is referring to a parcel near the center of the site that hasn't been acquired and added that it is already zoned as Light Industrial and is mostly wetlands.

NAYS: None
ABSTAIN: None
DECISION: Motion Carried (7-0)

6. GENERAL DISCUSSION

Chair Waayenberg thanked those in attendance and said that this is still very early in the process.

7. ADJOURNMENT

Motion: Motion by Rober, supported by Billips, to adjourn at 11:31PM.
DISCUSSION: None.
AYES: All
NAYS: None
ABSTAIN: None
DECISION: Motion Carried (5-0)

CERTIFICATION:

I hereby certify that the above is a true copy of the minutes from the April 15th, 2026, Planning Commission Meeting of the Gaines Charter Township Planning Commission held at the time and place mentioned above pursuant to the required statutory procedures.

Respectfully submitted,

Lani Thomas,

Secretary

Gaines Charter Township Planning Commission

Date: _____

DRAFT Minutes of the Gaines Charter Township Planning Commission

Regular Meeting held April 23rd, 2026, at 7 pm

8555 Kalamazoo Ave., SE, Caledonia, MI 49316

MEMBERS PRESENT: Waayenberg, Rober, Giarmo, Wiersema, Thomas

MEMBERS ABSENT: Haagsma and Billips, with notice.

STAFF PRESENT: Dakota Swan, Assistant Planner

1. CALL TO ORDER AND ROLL CALL

Chair Waayenberg called the meeting to order at 7:01 PM.

2. CONSIDERATION OF MEETING AGENDA

Motion:	Motion by Giarmo, supported by Thomas to split the public comment period, allocating agenda item 5 solely for comments on the advertised agenda item, and adding an additional public comment period following agenda item 6.A.
DISCUSSION:	Member Wiersema inquired to confirm that agenda item 6.A does not require a public hearing; Waayenberg confirmed that and added that the additional public comment period is a courtesy to the audience members in attendance specifically to speak on behalf of agenda item 6.A. Giarmo stated that she would like to hear comments on agenda item 6.A prior to deliberation.
AYES:	All
NAYS:	None
ABSTAIN:	None
DECISION:	Motion Carried (5-0)

3. CONSIDERATION OF MEETING MINUTES

Consideration of the March 26th, 2026, regular Planning Commission meeting minutes.

Motion:	Motion by Rober, supported by Thomas to approve the minutes of March 26 th , 2026, with corrections.
DISCUSSION:	None.
AYES:	All
NAYS:	None

ABSTAIN: None
DECISION: Motion Carried (5-0)

4. INQUIRY OF CONFLICT OF INTEREST

Wiersema disclosed that a relative owns property adjacent to the site of agenda item 6.A but noted that he felt confident in his ability to make an unbiased decision. Other Planning Commission members in attendance were comfortable with Wiersema participating in deliberation.

5. PUBLIC COMMENT

Joel, a resident who lives on East Paris Avenue near 3805 92nd Street, expressed concern regarding drainage controls, and which properties in the area may qualify to be included in a special assessment district.

Brian Diemer of 9621 Meadow Valley expressed similar concerns, specifically about fertilizer in runoff being directed towards adjacent properties. Diemer also noted that he feels as though the development at this density is not appropriate for the area.

Matt Marvin of 92nd Street echoed previous concerns, noting that although the proposed layout has been modified to incorporate feedback from the neighborhood, he is worried about implementing a system engineered on the minimum standards.

A resident of 9750 Meadow Valley reiterated previously stated concerns and added that the proposed development does not seem to be in alignment with the intent and goals identified in the 2023 Master Plan.

Carrie Diemer, also of 9621 Meadow Valley, agreed with previous comments and noted that she is uncomfortable with the idea of a road being placed directly across the street from Meadow Valley.

Eunice Vanderlaan of 3690 92nd Street expressed that she is worried about the proposed community septic system and potential impacts should the system fail due to a power outage or other unprecedented emergencies.

6. ITEMS FOR CONSIDERATION

A. 3805 92nd Street SE – Major Condominium (Open Space Development Option) and Site Plan Review – Caledonia Meadows

Paul Henderson of Roosien & Associates, the representative for the project, gave an overview of the proposal and elaborated on what has changed since initial consideration from the Planning Commission

in 2024. The development is proposed in the Agricultural/Rural-Residential (ARR) zoning district and features thirty single-family detached homes on a cul-de-sac and 22 acres of open space using the open space development option, which allows for smaller lot sizes in exchange for preservation of open space. The development team connected with neighbors in the area and redesigned the site layout to incorporate some of the feedback, including relocating the detention basins to the western property line to serve as a buffer between the existing and proposed housing. The site plan also includes an amenity area with a walking path, and playground/picnic area.

Henderson explained that environmental testing was conducted under supervision from the Kent County Health Department and the Michigan Department of Environment, Great Lakes, and Energy (EGLE). A community septic system is being proposed as part of this development, and although controversial, this type of system is mandated and permitted at the state level; Henderson reassured the Planning Commission that the system is advanced and will be robust and subject to oversight at the State level.

The setbacks requested in the proposal are lesser than what is typically required of structures in the Agricultural/Rural-Residential zoning district and are also lesser than what is required in the Suburban Residential zoning district, which calls for more residential density than the current zoning designation. Henderson noted that the development team would be open to increasing the proposed setbacks to bring the development closer to what is required of the ARR district.

Assistant Planner Swan gave an overview of the project from staff's perspective, focusing mainly on items that were not found to have met the applicable standards of review. Standard 4.30.I.2 ensures that applicants seeking the open space development option maintain compliance with the provisions of the existing zoning district, in this case ARR. Staff identified this as being undetermined, as the proposed setbacks are a stark difference from what is called for in ARR. Staff called on the Planning Commission to determine whether the proposed setbacks are appropriate.

Initially, all standards of review pertaining to water, sewer, and stormwater controls were found to be deficient on behalf of the Township Engineer's review (dated 04/15/2026). Staff has since been in communication with both the developer and the Township Engineer, who ultimately stated that granting preliminary site plan approval would be acceptable. Based on new information and continued communication, deficiencies pertaining to utilities and stormwater have been mitigated, therefore staff's review has been modified to endorse preliminary approval.

Wiersema expressed concern regarding the addition of new information not previously included in meeting materials and a change in the staff recommendation. Wiersema also noted that he has previously witnessed how challenging stormwater mitigation can be in this area and endorsed staff's recommended condition that the walking path must be ADA-compliant. Wiersema posed a question about enforcement, inquiring about how the Township would ensure compliance with conditions. Assistant Planner Swan noted that the Planning and Zoning Department often conducts compliance reviews and ensures conditions of approval are adhered to.

Commissioner Thomas inquired about which entity may be responsible for maintenance of the common areas; Assistant Planner Swan replied that the HOA would likely be responsible for overseeing and implementing any improvements.

Commissioner Giarmo noted that she does not feel as though this area is appropriate for residential development at this density, and that this is not necessarily what she had envisioned when updating the 2023 Master Plan and endorsing more dense development in select areas of the Township. She also expressed hesitancy and concern regarding the proposed community septic system and noted that she may be more comfortable with this project if public utilities were available in the area.

Vice Chair Rober echoed previous concerns regarding the STEP system. Thomas agreed that this type of development seems to be too dense for the area and out of character.

Chair Waayenberg noted that in this square mile, there are 43 homes, and the developer is proposing 30 additional homes, which would be a big and rather incompatible change for this area. Waayenberg expressed that he agrees with the neighbor's remarks, and that he would like to see more information on the potential impacts to the water table, preferably from the Township Engineer.

Tjapkis and Henderson argued that the proposed plan is consistent with the provisions of the Master Plan and the Zoning Ordinance, and that runoff from already developed areas would feed into the proposed stormwater basins, which would help to alleviate existing stormwater challenges in the area.

Giarmo concluded by stating that the development team is giving a lot of reassurances but without a substantial amount of evidence, as determined by the Planning Commission, to support their position.

Motion:	Motion by Giarmo, supported by Rober, to table the request for preliminary site plan review and major condominium review using the open space development option at 3805 92 nd Street to allow the applicant to compile further information to assist the Planning Commission in making an informed decision.
DISCUSSION:	None.
AYES:	All
NAYS:	None
ABSTAIN:	None
DECISION:	Motion Carried (5-0)

Chair Waayenberg opened the second public comment period.

Dale DeWitt of 3750 92nd Street expressed concerns regarding stormwater controls pertaining to agenda item 6.A.

Jeff of the Vantage Pointe neighborhood expressed concern regarding a rezoning request by Microsoft Corporation and their intention to build a data center in the Township, while also demanding further details on the specifics of the project prior to the Planning Commission making any decisions on this matter.

Stephanie Pratt of 4642 76th Street shared a letter with the Planning Commission that she also distributed to the President, the Governor of Michigan, and the Michigan State Representative for the 36th District in which she expressed concerns over the potential long-term health impacts of data centers, specifically from low frequency vibrational noise and emissions.

A resident of 9750 Meadow Valley expressed appreciation to the Planning Commission for heavily considering guidance from the 2023 Master Plan during deliberation.

Karina, a resident of the Township, requested that the Planning Commission demand independent research into the potential impacts of data centers prior to making any decisions on the Microsoft project, and encouraged a one-year moratorium.

Kristine, a resident from Cook's Crossing, expressed similar concerns.

Joel, a resident of the Township, reiterated that the soils on site at 3805 92nd Street are very wet and did not pass the perc test necessary for individual septic systems.

Ellie of 1082 Haven Drive said that the Planning Commission's deliberation on agenda item 6.A was encouraging, and she would like to see the same approach towards the Microsoft project.

Tammy of 5140 N. Morgan Lane explained that she is not in support of the Microsoft project and is also asking for a one-year moratorium

Chair Waayenberg closed the second public comment period.

7. GENERAL DISCUSSION

Assistant Planner Swan noted that in May, the Planning Commission will be considering a request for site plan review and a special use permit for a proposed credit union, and a request for a text amendment to the Zoning Ordinance.

Wiersema addressed deficiencies he observed on the Township website and suggested potential solutions.

8. ADJOURNMENT

Motion:	Motion by Giarmo, supported by Rober, to adjourn at 8:45 PM.
DISCUSSION:	None.
AYES:	All
NAYS:	None
ABSTAIN:	None
DECISION:	Motion Carried (5-0)

CERTIFICATION:

I hereby certify that the above is a true copy of the minutes from the April 23rd, 2026, Planning Commission Meeting of the Gaines Charter Township Planning Commission held at the time and place mentioned above pursuant to the required statutory procedures.

Respectfully submitted,

Lani Thomas,

Secretary

Gaines Charter Township Planning Commission

Date: _____



PLANNING COMMISSION MEMO

Meeting Date: May 28th, 2026

AGENDA ITEM: 6.A

APPLICANT: Erin Bowdell; MSU/FCU

REQUEST: Special Use Permit & Site Plan

ZONING AND PROPERTY SIZE: Gaines Marketplace PUD, 1.59 acres

Review

ADDRESS: 1651 Marketplace Drive

REPORT BY: Dakota Swan, Assistant Planner



OVERVIEW:

The applicant requests site plan review and a special use permit to allow the new use of a MSU Federal Credit Union branch at 1651 Marketplace Drive, formerly Logan’s Roadhouse. Demolition plans dated 04/23/2026 do not clarify whether the entire structure will be modified to accommodate the new use or entirely torn down, however, the footprint and façade of the building on site will be different; the existing building formerly occupied by Logan’s Roadhouse is 8,195 square feet, and the newly proposed building is 6,936 square feet. Section 15.50.A of the Gaines Charter Township Zoning Ordinance (GCTZO) stipulates that a special use permit must be acquired to operate a drive-through service in the General Commercial zoning district, which is the base zoning district for the Gaines Marketplace PUD. The application also includes details pertaining to lighting, utility upgrades, and landscaping.

The Planning Commission's role is to review the application for consistency with Section 18.120 – “Drive-Through Service”, Section 26.40 – “Site Plan Standards of Approval”, and Section 27.40 – “Special Land Use Standards”.

SURROUNDING ZONING:

	NORTH: Gaines Marketplace PUD	
WEST: Gaines Marketplace PUD	SUBJECT PARCEL	EAST: Gaines Marketplace PUD
	SOUTH: Marketplace Drive	

PROCESS:

The request for a special use permit is subject to the following process:

1. Submittal by applicant (Section 25.20 A-C)
2. Completeness review by Zoning Administrator (25.20 D)
3. If complete, a public hearing shall be scheduled (Section 25.70)
4. Administrative review of special land use and preliminary plan by Zoning Administrator
5. Public hearing and review and decision by the Planning Commission (Section 25.50)

The request for site plan review is subject to the following process:

1. Submittal by applicant (Section 25.20A-C)
2. Completeness review by Zoning Administrator (25.20.D)
3. If complete, administrative review by Zoning Administrator
4. Review and decision by the Planning Commission (Section 25.50)

STANDARDS OF REVIEW:

This request for a special use permit is subject to review against Section 18.120 – Drive-Through Service, and Section 27.40 – Special Land Use Approval Standards. A request for site plan review is subject to all requirements of Section 26.40, Site Plan Standards of Approval. The Planning Commission shall review all details of the application and submittal to ensure satisfaction with the requirements outlined in Sections 18.20.A.9, 26.40, and 27.40.

Section 18.120 Drive-Through Service:

A. ACCESS AND CIRCULATION: Site access and circulation shall be designed to minimize traffic conflicts, congestion, and disruption and enhance traffic safety on abutting public and private streets and drives. Access and drive aisles shall be arranged to prevent queued or parked vehicles from encroaching upon a sidewalk, street, intersection, or public right-of-way.

Meets standard. The applicant is not proposing any modifications or improvements that would significantly impact circulation or adequate access to the site. There are three ingress/egress points, one at the north side of the property which connects the site to the rest of the PUD, one on the eastern edge of the property which connects to a shared driveway which also connects to Marketplace Drive, and the third at the south side of the property. All three driveways are wider than the 22-feet that is required for two-way drive aisles in Section 20.40.B of the GCTZO. The one-way drive aisle which provides access for the drive through is 12 feet wide, which also satisfies dimensional requirements from Section 20.40.B.

B. STACKING SPACES: Shall be provided in accordance with Table 18.120.B. A bank requires 3 stacking spaces per pickup window as per Table 18.120.B.

Undetermined. The financial institution is planned to feature one pickup window, and the site plan includes adequate space for the required number of stacking spaces, however, the Planning Commission may require additional stacking spaces based on the characteristics of the proposed land use and anticipated traffic volumes. Staff approximates that the drive through lane is adequate to provide five stacking spaces before cars would begin to impede any two-way drive aisles. The Planning Commission must determine whether the proposed stacking spaces are adequate for this use, or if the applicant must modify their request to provide additional stacking spaces.

C. SOUND: Loudspeakers shall be modulated so that any generated sound is not audible beyond property boundaries.

Meets standard. Staff does not anticipate noise to be a point of nuisance from this project, as noise would only be generated by the drive-through speaker. Noise may also be generated at financial institutions by a pneumatic tube system often used at locations with several pick-up bay's, however, this project only features one pickup lane, and the developer has not stated

that a pneumatic tube system will be used. The drive-through portion of the facility will be on the north side of the building, opposite the residential development to the south. The applicant has not provided any details on the sound system used for the pickup window; however, staff has an enforceable method of measuring sound lines to ensure no sound generated on site will be audible beyond the property boundaries. The Planning Commission does reserve the authority to direct staff to measure and enforce upon any audible nuisance from the property.

Section 26.40 Site Plan Standards of Approval

A. ZONING COMPLIANCE AND COMPATIBILITY: Site plan proposals shall conform to all zoning district requirements (Chapters 4 to 13, as applicable), land use regulation (Chapter 15), building requirements (Chapter 16), general requirements (Chapter 17), and any applicable specific use requirements (Chapter 18). If necessary, variances shall be secured prior to the Planning Commission's approval (Chapter 30). Site planning shall consider both zoning compliance and compatibility with adjacent properties and land uses. All uses, structures, and buildings will fully comply with this Ordinance and all other applicable Township ordinances.

Meets standard. The proposal includes a complete application which addresses the standards of review outlined in relevant chapters of the Zoning Ordinance, as specified above. Staff determines that a financial institution is an appropriate use within the Gaines Marketplace PUD and for the parcel itself and is compatible with adjacent properties and land uses. The proposed building also satisfies all dimensional requirements outlined in Chapter 9, "General Commercial"

B. LIGHTING: Lighting plans shall demonstrate compliance with all requirements and shall be designed to ensure safe conditions and minimal impact on neighboring properties and the night sky (Chapter 19).

Undetermined. Staff determines that details provided in the lighting plan satisfies submittal requirements but does not entirely achieve compliance with the requirements of Chapter 19. All fixtures used to illuminate the exterior of the building and the parking lot are fully cut off and down lit and will maintain color temperatures no greater than 4,000 Kelvins. Staff notes that mounting heights for light poles are not provided – since the subject parcel is less than 100 feet from a residentially zoned lot, light poles may not exceed 20 feet in height.

Staff also notes that lighting levels on the site are limited to 1 footcandle (fc) along the front lot line adjacent to street frontage, 1 fc along a lot line adjoining a non-residential use or district, and 0 fc adjoining a residential use or district; the site has frontage on Marketplace Drive, and is adjacent to residential parcels to the south and commercial parcels to the west, north, and east. The photometric plan provided does not indicate light levels for the entire parcel, but rather only on paved surfaces. Section 19.20.G stipulates that commercial properties must reduce light levels by

50% after the close of business; the photometric plan makes no note of this requirement, therefore, staff is noting and recommending this requirement as a condition of approval.

C. PARKING AND LOADING: Parking lot design shall demonstrate compliance with all dimensional and circulation requirements and shall be arranged to provide safe and convenient access to buildings and land uses (Chapter 20). If applicable, stacking and loading spaces shall be designed to minimize the impact on internal circulation routes and off-site traffic patterns.

Undetermined. Section 20.50.D of the Zoning Ordinance stipulates that general office service uses must provide 1 parking space per 300 square feet of building. The building is 6,963 square feet which would require 23 parking spaces; 64 spaces are being proposed, with 6 being ADA-compliant, all with ADA-compliant ramps. All proposed parking spaces are 9 feet wide and 18 feet long, which achieves compliance with requirements from Section 20.40.B. Staff notes that the Planning Commission must make a determination on whether the proposed number of stacking spaces will be sufficient for the facility, please refer to staff comments in Section 18.120.B.

D. MOBILITY, TRAFFIC, AND ACCESS: Pedestrian and bicycle travel shall be accommodated in accordance with this Ordinance (Section 21.20). Acceptable traffic conditions shall be maintained (Section 21.30). Driveway placement, connectivity, and shared access shall be designed to promote safe and efficient access to and from the site and circulation within the site. Compliance with access management requirements shall be demonstrated (Section 21.40). All sites and buildings shall be accessible to emergency service vehicles and personnel to respond to emergencies and calls for service. Streets and driveways shall conform to the requirements of Chapter 22.

Meets standard. The site is served by one driveway to the north connecting the parcel to the rest of the PUD, and two driveways connecting the parcel to Marketplace Drive, one to the east and one to the south, as approved under the Gaines Marketplace PUD. The application does not include any plans which would alter the circulation on site, such as an additional curb cut or additional driveways. All plans are subject to review and final approval by the Gaines Charter Township Fire Department to ensure adequate emergency access.

E. LANDSCAPING, SCREENING, AND ENVIRONMENTAL PROTECTION: All applicable landscaping, buffering, screening, and environmental requirements shall be satisfied (Chapter 23), and sites shall not be significantly disturbed in ways beyond what is appropriate for the reasonable development of a site. Site plans shall demonstrate that the impact of exterior uses and activities is minimized by required landscaping and screening.

Meets standard. Section 23.10.C states that change of use of a building does not require landscaping compliance or improvements unless the use is subject to specific use requirements that warrant landscaping prior to establishment. There is no reference to landscaping in Section

18.120 – “Drive Through Service”, however, the applicant has submitted a landscaping plan for review.

The provided landscaping plan satisfies the requirements for native species, number of plantings, and separation distances, and depicts three planter boxes that will be placed at the front of the building. The applicant has clarified that several plantings will feature deep root utility barriers so as not to infringe upon the delivery of critical utilities and services, and all planting areas will be serviced by a complete irrigation system. Section 23.70.C stipulates that screening for trash receptacles must be made of solid, weather-resistant materials; the landscaping plan demonstrates compliance with Section 23.70.C and also includes details on additional shrubbery which will be planted to further screen the dumpster enclosure.

Staff notes that the Landscaping Calculations table on sheet L-110 includes references to an “East Beltline Overlay District”. Staff has determined these details were included in error and are not applicable or in reference to the GCTZO.

F. STORMWATER AND WATER QUALITY: Stormwater detention, retention, and drainage systems shall be designed to protect neighboring properties from the negative impacts of increased stormwater run-off and flooding. Systems shall be designed to function with public stormwater drainage systems under the authority of the Kent County Drain Commission, Kent County Road Commission, or the Michigan Department of Transportation (MDOT).

Meets standard. The Township Engineer has determined that the regional detention pond to the north which serves the entire PUD is satisfactory for stormwater management and is not calling for any additional controls at this time.

G. SIGNS: Proposed signs shall meet dimensional and location requirements and shall be placed in locations that limit driver distraction and prevent visual clutter (Chapter 24).

Meets standard. The application includes provisions for a monument sign planned to be located on the western side of the southern driveway. The sign will be Ca. 57.75 square feet and will be internally illuminated on both sides. The proposed sign satisfies all dimensional requirements and is planned to be located outside of the clear vision area and outside of required setbacks.

H. WATER AND SEWER: Public water and sewer connections shall be approved by the Byron Gaines Utility Authority (BGUA) in accordance with Section 17.90.B as applicable. The site plan will not overburden BGUA’s ability to provide public services while at the same time adequately providing for sewage collection and treatment.

Meets standard. The site has connections to both water and sewer service provided by the Byron Gaines Utility Authority. Modifications and improvements are being proposed as part of this project; however, no elements of the site plan would be burdensome to the delivery of critical services by the BGUA. The developer will be responsible for financing any improvements to utility connections or stormwater controls on the site.

I. OUTSIDE AGENCIES

Meets standard, condition recommended. The applicant must secure all necessary outside agency approvals prior to construction, including, but not limited to:

1. Gaines Carter Township Engineer
2. Gaines Carter Township Fire Department
3. Kent County Health Department
4. Kent County Road Commission
5. Kent County Drain Commission
6. State of Michigan Regulatory Agencies

Section 27.40 Special Land Use Approval Standards:

A. ZONING ORDINANCE AND MASTER PLAN: The special land use will be consistent with the goals, intent, and purposes of the Zoning Ordinance and the Master Plan. The associated site plan will comply with all requirements of this Ordinance and satisfy all site plan standards of approval.

Meets standard. The subject parcel is currently zoned for commercial use within the Gaines Marketplace PUD, and the parcel is future zoned for “General Retail & Services”. Staff determines that the request is consistent with the provisions and goals of the Zoning Ordinance, Master Plan, and the Gaines Marketplace PUD as approved.

B. USE COMPATABILITY AND CHARACTER: The site plan and buildings associated with the use will be designed and constructed, and the use will be operated and maintained in ways to ensure compatibility with adjacent and nearby land uses. Establishment of the use will not degrade the essential character of the area in which it is proposed. Further, it will not impede the normal and orderly development and improvement of surrounding property and shall not have significant adverse impacts upon adjoining properties or uses.

Meets standard. The proposed financial service building is consistent and compatible with nearby commercial land uses. Staff determines that the proposed use will not degrade or impede the character of the surrounding area or prohibit future improvements or development in the area.

C. PUBLIC SERVICES AND INFRASTRUCTURE: The use and its associated buildings and site improvements will be adequately served by essential infrastructure and services, such as roads, stormwater drainage infrastructure, schools, law enforcement, and fire protection; will not create excessive additional requirements at public cost for infrastructure; and will not be detrimental to the economic welfare of the community.

Meets standard. Please see staff comments in Section 26.40.F and Section 26.40.H.

D. IMPACT AND NUISANCES: The use and its associated buildings and site improvements will not be hazardous or disturbing to existing or future uses in the same general vicinity and in the community as a whole, and it will not involve uses, activities, processes, materials, equipment, or conditions of operation that will be detrimental to persons, property or general welfare by reason of excessive activity, noise, vibration, smoke, fumes, glare, odor, or visual impact.

Meets standard. Staff does not anticipate that the proposed credit union will cause nuisance or disturbances to existing or future uses in the area.

E. ENVIRONMENTAL IMPACT: The use and its associated buildings and site improvements will not cause environmental degradation or significant change to landscapes, topography, and sensitive natural resources.

Meets standard. Sensitive natural resources and varied topography are not present on the parcel; staff determines that this project will have no significant environmental impacts.

F. TRAFFIC: The use will not result in unsafe traffic conditions or negative impacts on bicycle and pedestrian travel and shall not create or substantially add to traffic hazards in the area.

Meets standard. Staff does not anticipate that the project will have any bearing on vehicle or pedestrian traffic in the area. The sidewalk will remain intact, and both access points to the north and south will remain unchanged.

G. PRECEDENCE AND REASONABLE LAND USE: The proposed use shall not set precedents for development, which could adversely affect the long-term plans or policies of the Township. The proposed use will be reasonable.

Meets standard. Given that the current and future zoning designations both call for commercial and business use, staff determines that the proposed land use is reasonable and in alignment with the long-term plans and policies of the Township.

STAFF RECOMMENDATION

Based on our review, Staff recommends that the site plan be approved with the following conditions:

1. The Planning Commission must determine whether the stacking spaces provided will be adequate.
2. Light poles shall be no taller than 20 feet to achieve compliance with Section 19.40.D.
3. Illumination levels shall be adjusted to achieve compliance with Section 19.50.B and minimize light spill onto neighboring properties.
4. Lighting levels on site must be reduced by 50% after the close of business to achieve compliance with Section 19.20.G.
6. Applicants must secure all applicable and outside agency approvals, including but not limited to:

- Gaines Charter Township Engineer
- Gaines Charter Township Fire Department
- Kent County Health Department
- Kent County Road Commission
- Kent County Drain Commission
- State of Michigan regulatory agencies

SEWER INVENTORIES

LAWN BASIN #100
RIM - 755.96
NO VISIBLE PIPES

LAWN BASIN #101
RIM - 755.59
NO VISIBLE PIPES

CATCH BASIN #102
RIM - 755.18
15" HDPE N - 749.64
4" CPP NE - 751.01 (TOP OF PIPE)
4" CPP SE - 750.59
15" HDPE S - 749.68
4" CPP SW - 750.58
4" CPP NW - 750.73

CATCH BASIN #103
RIM - 754.17
12" HDPE NE - 751.45
6" PVC E - 753.02

STORM MANHOLE #104
RIM - 755.63
12" RCP N - 744.54
12" HDPE E - 751.85
12" HDPE SW - 750.73
12" RCP W - 749.93

CATCH BASIN #105
RIM - 757.08
12" HDPE SW - 755.28

CATCH BASIN #106
RIM - 756.79
12" HDPE SE - 755.01

CATCH BASIN #107
RIM - 757.40
15" HDPE N - 750.43
12" HDPE E - 750.49
12" HDPE W - 750.48

CATCH BASIN #108
RIM - 755.14
NO VISIBLE PIPES

SANITARY MANHOLE #200
RIM - 755.69
8" PVC E - 746.27
8" PVC SW - 746.33

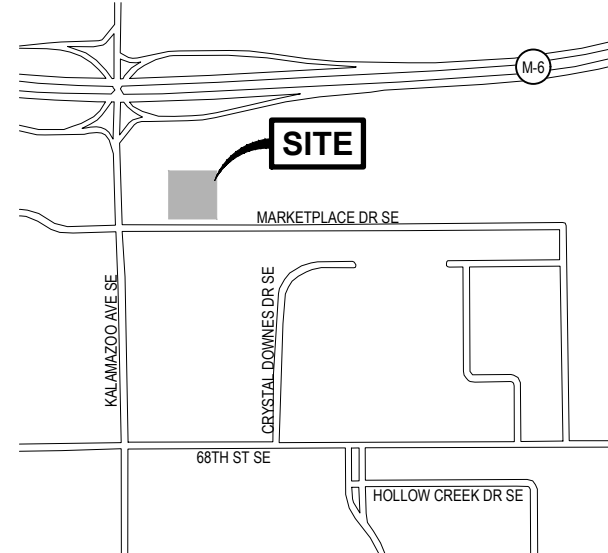
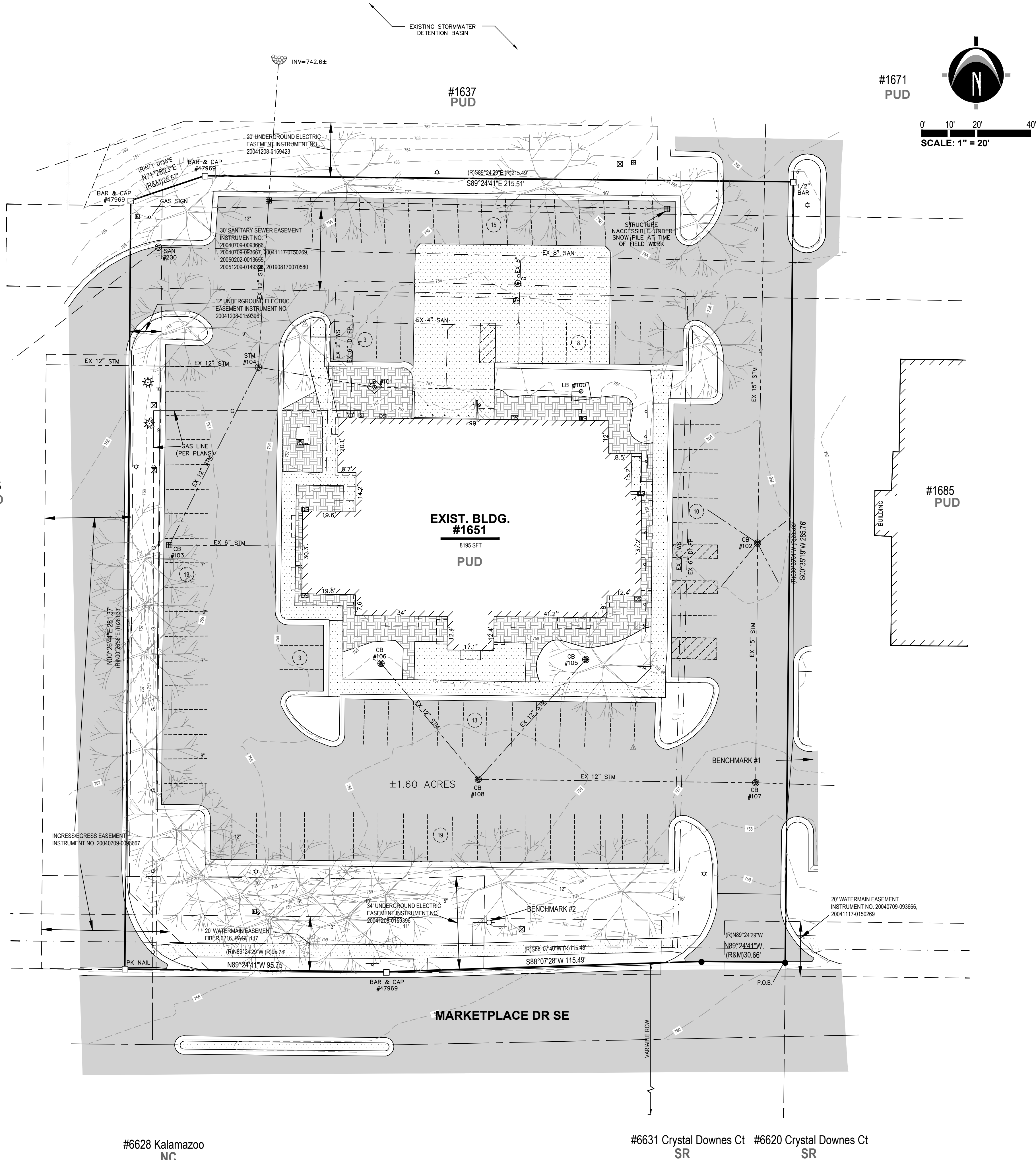
LEGEND

(M)	= MEASURED DIMENSION	⊙	= SANITARY MANHOLE
(R)	= RECORDED DIMENSION	⊖	= DRAINAGE MANHOLE
●	= SET BAR & CAP #53497 UNLESS NOTED	⊕	= ELECTRIC MANHOLE
□	= FOUND IRON AS NOTED	⊗	= TELEPHONE MANHOLE
—	= DEED LINE	⊙	= CATCH BASIN
—	= DISTANCE NOT TO SCALE	⊙	= LAWN BASIN
—	= FENCE	⊙	= GAS MANHOLE
—	= A.D.A RAMP	⊙	= STEAM MANHOLE
—	= ASPHALT	⊙	= UNKNOWN MANHOLE
—	= BRICK	⊙	= WATER MANHOLE
—	= CONCRETE	⊙	= GAS METER
—	= DECK	⊙	= GAS VALVE
—	= GRAVEL	⊙	= CLEANOUT
—	= LANDSCAPING	⊙	= DOWN SPOUT
—	= EXISTING SPOT ELEVATION	⊙	= FIRE HYDRANT
—	= EXISTING CONTOUR ELEVATION	⊙	= FIRE PROTECTION
—	= BUILDING OVERHANG	⊙	= VALVE
—	= SANITARY SEWER	⊙	= WATER SPRINKLER
—	= STORM SEWER	⊙	= WATER PIV
—	= WATER LINE	⊙	= WALK MANIFOLD
—	= GAS LINE	⊙	= WATER METER
—	= UNDERGROUND TELEPHONE	⊙	= WELL
—	= UNDERGROUND TELEVISION	⊙	= SOIL BORING
—	= UNDERGROUND ELECTRIC	⊙	= SIGN
—	= OVERHEAD WIRES	⊙	= POST
—	= UNDERGROUND FIBER OPTIC	⊙	= AIR CONDITIONING UNIT
—	= EDGE OF WOODS	⊙	= FLAG POLE
—	= DECIDUOUS TREE	⊙	= PARKING METER
—	= CONIFEROUS TREE	⊙	= UTILITY POLE
—	= BUSH	⊙	= LIGHT POLE
—	= TREE STUMP	⊙	= GUY POLE
—		⊙	= GUY WIRE
—		⊙	= UTILITY PEDESTAL
—		⊙	= TRANSFORMER
—		⊙	= HANDHOLE
—		⊙	= ELECTRIC METER
—		⊙	= GROUND LIGHT



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.



LOCATION MAP

NOT TO SCALE

BENCHMARKS

BENCHMARK #1 (OFFSITE) ELEV. = 759.25 (NAVD88)
CHISELED "X" IN SOUTH SIDE OF LIGHT POLE BASE AT SOUTHEAST CORNER OF APPLEBEES, ±85' NORTH OF NORTH EDGE OF ASPHALT OF MARKETPLACE.

BENCHMARK #2 ELEV. = 761.37 (NAVD88)
TOP NINE FLANGE BOLT ON HYDRANT ABOVE "1" IN "1892" NORTH SIDE OF MARKETPLACE, ±18' NORTH OF NORTH BACK OF CURB OF MARKETPLACE, ±85' NORTH OF NORTH EDGE OF CONCRETE.

SURVEYOR'S NOTES:

- This plan was made at the direction of the parties named herein and is intended solely for their immediate use. Survey prepared from fieldwork performed in February 2026.
- All bearings are Michigan State Plane South Zone grid bearings obtained from GPS observations using corrections obtained from the nearest National Geodetic Survey C.O.R.S. station.
- All dimensions shown are as-measured unless otherwise noted.
- All elevations are North American Vertical Datum of 1988 (NAVD88).
- All dimensions are in feet and decimals thereof.
- No building tie dimensions are to be used for establishing the property lines.
- All plottable easements which cross the subject property are shown per Transation Title Agency of Michigan Central Division LLC, Commitment No. 474971LANS, dated October 29, 2025.
- By scaled map location and graphic plotting only, this property lies entirely within Flood Zone "X", areas outside the 0.2% annual chance floodplain, according to the National Flood Insurance Program; Flood Insurance Rate Map for the Charter Township of Gaines, Kent County, Michigan, Community Panel No. 260990 0551 D, dated February 23, 2023.
- Utility information as shown was obtained from available public records and from supporting field observations, where possible, and is subject to verification in the field by the appropriate authorities prior to use for construction. MISS DIG was not contacted to mark utilities on site.
- Wetlands, if any, not shown herein.

LEGAL DESCRIPTION

(As provided by Transation Title Agency of Michigan Central Division LLC, Commitment No. 474971LANS, dated October 29, 2025)

That part of the SW 1/4, Section 4, T5N, R11W, Gaines Township, Kent County, Michigan, described as:
Commencing at the W 1/4 corner of Section 4; thence S 00 degrees 32 minutes 02 seconds W 1328.64 feet along the West line of said SW 1/4; thence S 89 degrees 24 minutes 29 seconds E 598.31 feet along the South line of the N 1/2 of said SW 1/4; thence N 00 degrees 35 minutes 31 seconds E 78.00 feet to the place of beginning of this description; thence N 89 degrees 24 minutes 29 seconds W 30.66 feet; thence S 88 degrees 07 minutes 40 seconds W 115.48 feet; thence N 89 degrees 24 minutes 29 seconds W 95.74 feet; thence N 00 degrees 26 minutes 56 seconds E 281.33 feet; thence N 71 degrees 28 minutes 35 seconds E 28.57 feet; thence S 89 degrees 24 minutes 29 seconds E 215.49 feet; thence S 00 degrees 35 minutes 31 seconds W 285.69 feet to the place of beginning.

NEDERVELD
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ANN ARBOR
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Holland, MI 49423
Phone: 616.353.0449

PREPARED FOR:

MSU - FCU
Attn: Erin Bowdell

3777 West Road
East Lansing, MI 48823
(517) 333-2424

REVISIONS:

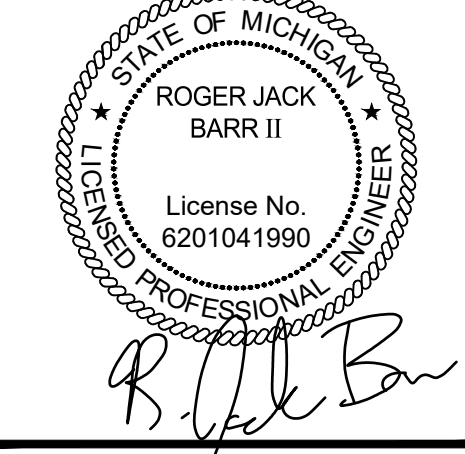
Title: Site Plan Submittal
Drawn: AH/EG Checked: JB Date: 04/23/2026

MSU Federal Credit Union

Existing Site Conditions Plan

1651 MARKETPLACE DRIVE SE, CALEDONIA, MI 49316
PART OF THE SW 1/4 OF SECTION 4, T5N, R11W,
GAINES TOWNSHIP, KENT COUNTY, MICHIGAN

SEAL:



PROJECT NO:
25401551

SHEET NO:

C-201



KEBS, INC.
DATED: February 10, 2026

MSU - FCU
Attn: Erin Bowdell

3777 West Road
East Lansing, MI 48823
(517) 333-2424

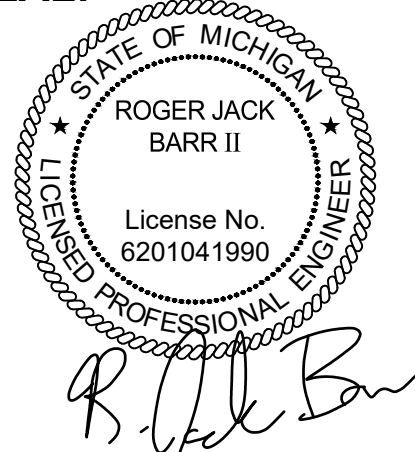
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Drawn: AH/EG Checked: JB Date: 04/23/202

MSU Federal Credit Union

Demolition Plan

1651 MARKETPLACE DRIVE SE, CALEDONIA, MI 49316
PART OF THE SW 1/4 OF SECTION 4, T5N, R11W,
GAINES TOWNSHIP, KENT COUNTY, MICHIGAN

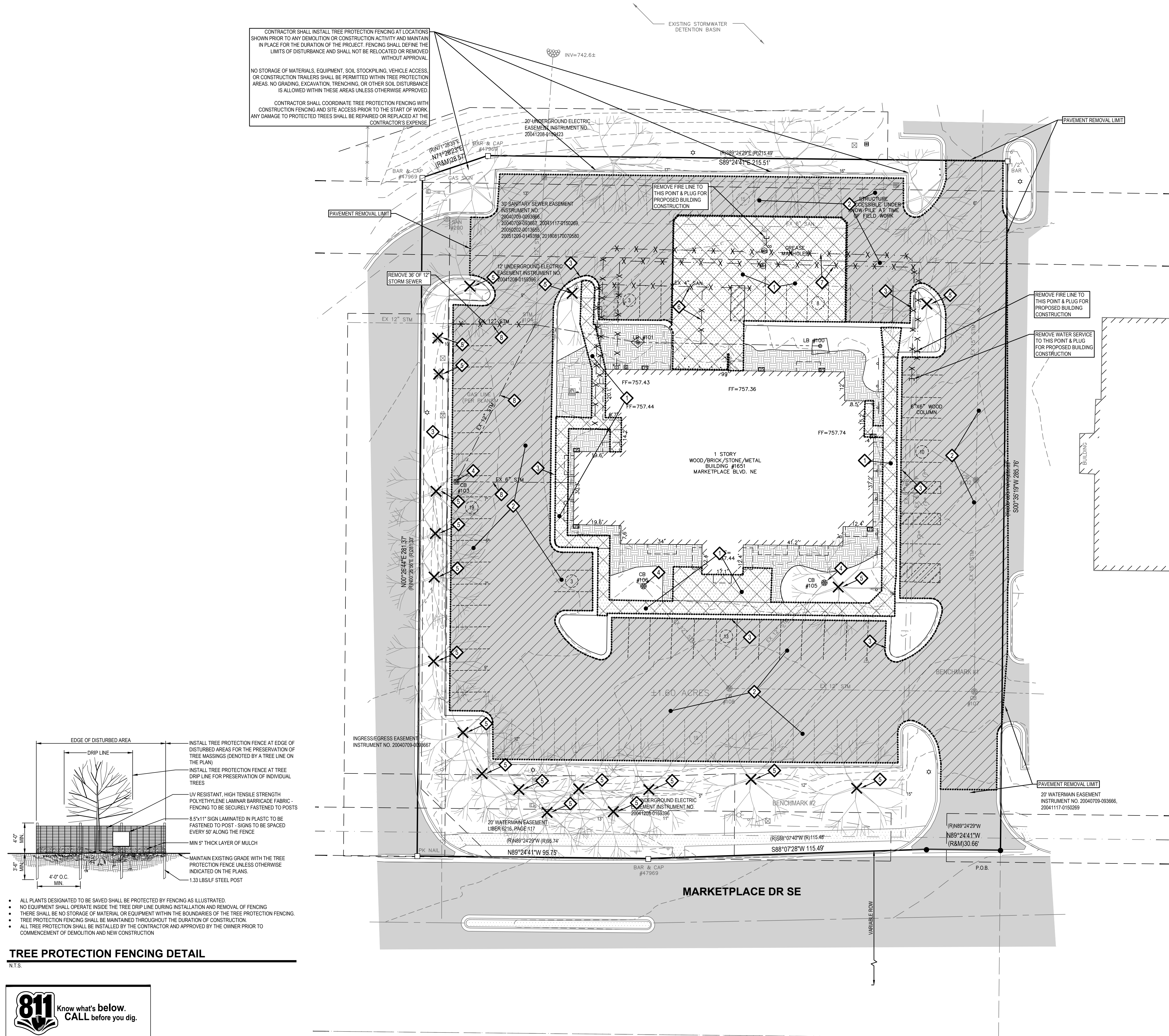
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PROJECT NO:
25401551

SHEET NO:

C-203



TREE PROTECTION FENCING DETAIL

N.T.S.



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLAN" WERE
OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE
CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL
UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

PREPARED FOR:

MSU - FCU
Attn: Erin Bowdell

3777 West Road
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(517) 333-2424

REVISIONS:

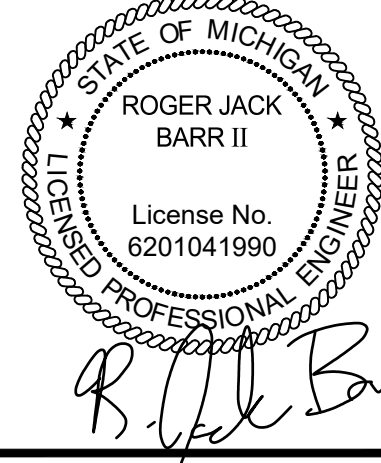
Title: Site Plan Submittal
Drawn: AH/EG Checked: JB Date: 04/23/2026

MSU Federal Credit Union

Site Layout Plan

1651 MARKETPLACE DRIVE SE, CALEDONIA, MI 49316
PART OF THE SW 1/4 OF SECTION 14, T5N, R11W,
GAINES TOWNSHIP, KENT COUNTY, MICHIGAN

SEAL:

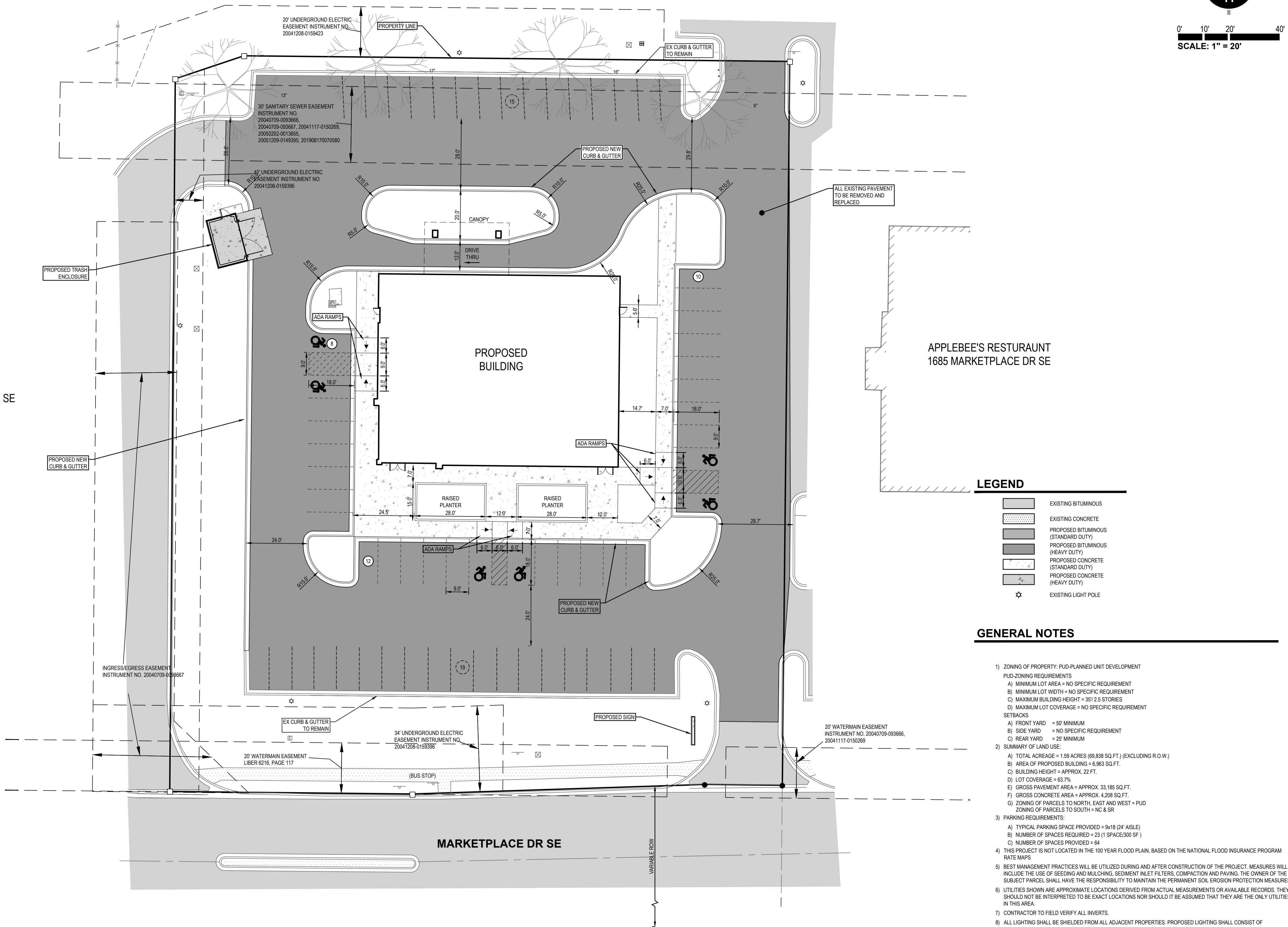
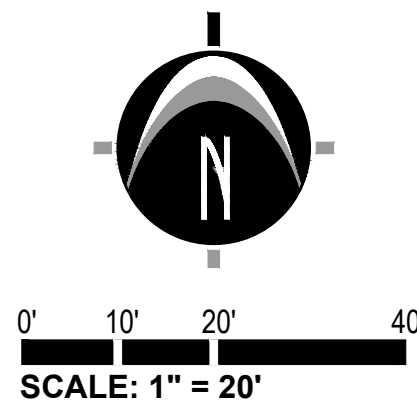


PROJECT NO:

25401551

SHEET NO:

C-205



LEGEND

- EXISTING BITUMINOUS
- EXISTING CONCRETE
- PROPOSED BITUMINOUS (STANDARD DUTY)
- PROPOSED BITUMINOUS (HEAVY DUTY)
- PROPOSED CONCRETE (STANDARD DUTY)
- PROPOSED CONCRETE (HEAVY DUTY)
- EXISTING LIGHT POLE

GENERAL NOTES

- ZONING OF PROPERTY: PUD-PLANNED UNIT DEVELOPMENT
PUD-ZONING REQUIREMENTS
A) MINIMUM LOT AREA = NO SPECIFIC REQUIREMENT
B) MINIMUM LOT WIDTH = NO SPECIFIC REQUIREMENT
C) MAXIMUM BUILDING HEIGHT = 35/2.5 STORIES
D) MAXIMUM LOT COVERAGE = NO SPECIFIC REQUIREMENT
SETBACKS
A) FRONT YARD = 50' MINIMUM
B) SIDE YARD = NO SPECIFIC REQUIREMENT
C) REAR YARD = 25' MINIMUM
- SUMMARY OF LAND USE
A) TOTAL ACREAGE = 1.59 ACRES (69,838 SQ. FT.) (EXCLUDING R.O.W.)
B) AREA OF PROPOSED BUILDING = APPROX. 33,185 SQ. FT.
C) BUILDING HEIGHT = APPROX. 22 FT.
D) LOT COVERAGE = 63.7%
E) GROSS PAVEMENT AREA = APPROX. 4,209 SQ. FT.
F) GROSS CONCRETE AREA = APPROX. 4,209 SQ. FT.
G) ZONING OF PARCELS TO NORTH, EAST AND WEST = PUD
ZONING OF PARCELS TO SOUTH = NC & SR
- PARKING REQUIREMENTS:
A) TYPICAL PARKING SPACE PROVIDED = 9x18 (24' AISLE)
B) NUMBER OF SPACES REQUIRED = 23 (1 SPACE/300 SF)
C) NUMBER OF SPACES PROVIDED = 64
D) THIS PROJECT IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN, BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAPS
E) BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
F) UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
G) CONTRACTOR TO FIELD VERIFY ALL INVERTS.
H) ALL LIGHTING SHALL BE SHIELDED FROM ALL ADJACENT PROPERTIES. PROPOSED LIGHTING SHALL CONSIST OF WALL-MOUNTED LIGHTS AND LIGHT POLES, BOTH FITTED WITH DOWN CAST TYPE FIXTURES TO BE SPECIFIED BY LIGHTING CONSULTANT.
I) THE PERMANENT PARCEL NUMBER FOR THE SITE IS 41-22-04-301-009.
THE ADDRESS OF THE PROPERTY IS 1651 MARKETPLACE DR SE.
J) NO FENCES OR WALLS OTHER THAN WHAT IS SHOWN ON THE SITE PLAN ARE PROPOSED AT THIS TIME.



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NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

SEWER INVENTORIES

LAWN BASIN #100
RM - 755.96
NO VISIBLE PIPES

LAWN BASIN #101
RM - 755.59
NO VISIBLE PIPES

CATCH BASIN #102
RM - 755.18
15" HDPE N - 748.84
4" CPP NE - 751.01 (TOP OF PIPE)
4" CPP SE - 750.58
15" HDPE S - 749.68
4" CPP SW - 750.58
4" CPP NW - 750.73

CATCH BASIN #103
RM - 754.17
12" HDPE NE - 751.45
6" PVC E - 753.02

STORM MANHOLE #104
RM - 755.63
12" RCP N - 744.54
12" HDPE E - 751.85
12" HDPE SW - 750.75
12" RCP W - 749.93

CATCH BASIN #105
RM - 757.08
12" HDPE SW - 755.28

CATCH BASIN #106
RM - 756.79
12" HDPE SE - 755.01

CATCH BASIN #107
RM - 757.40
15" HDPE N - 750.43
12" HDPE E - 750.49
12" HDPE W - 750.48

CATCH BASIN #108
RM - 755.14
NO VISIBLE PIPES

SANITARY MANHOLE #200
RM - 755.69
8" PVC E - 746.27
8" PVC SW - 746.33

BENCHMARKS

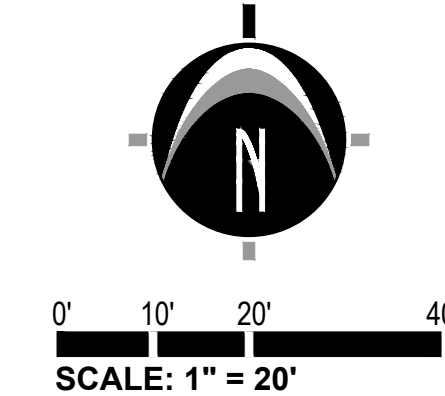
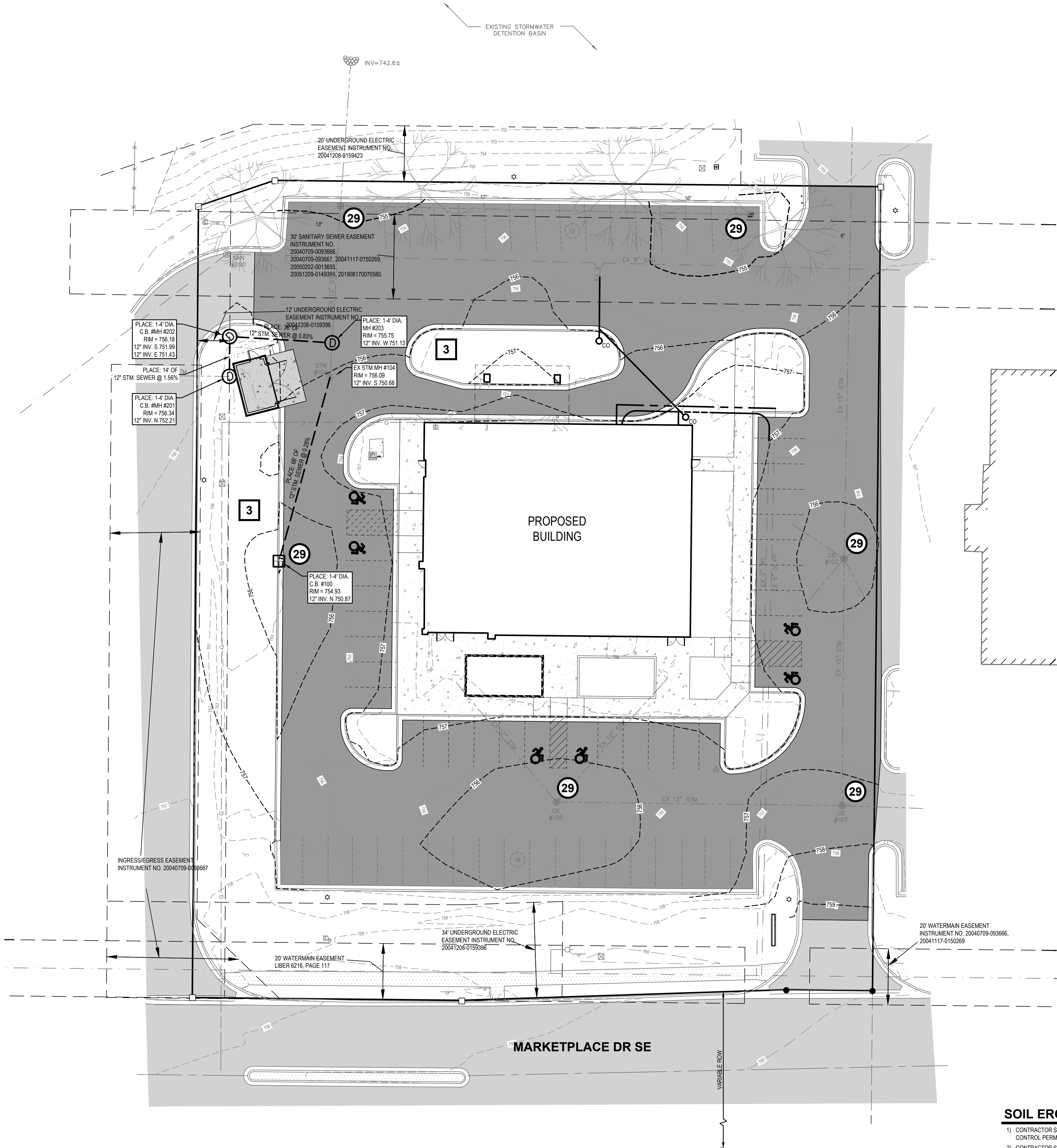
BENCHMARK #1 (OFFSITE) ELEV. = 759.25 (NAVD88)
CHISELED "X" IN SOUTH SIDE OF LIGHT POLE BASE AT SOUTHEAST CORNER OF APPLEBEES, ±18' NORTH OF NORTH EDGE OF ASPHALT OF MARKETPLACE

BENCHMARK #2 ELEV. = 761.37 (NAVD88)
TOP NINE FLANGE BOLT ON HYDRANT ABOVE 11" IN 1992' I NORTH SIDE OF MARKETPLACE, ±18' NORTH OF NORTH BACK OF CURB OF MARKETPLACE, ±8' NORTH OF NORTH EDGE OF CONCRETE



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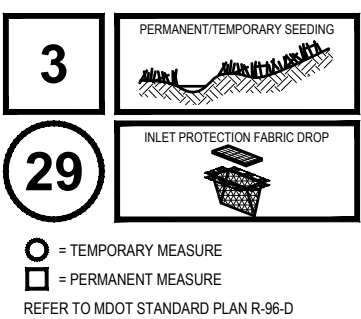


LEGEND	
	EX. GRADE CONTOUR
	PROP. GRADE CONTOUR
	EX. BITUMINOUS
	EX. CONCRETE
	PROPOSED BITUMINOUS (STANDARD DUTY)
	PROPOSED BITUMINOUS (HEAVY DUTY)
	PROPOSED CONCRETE (STANDARD DUTY)
	PROPOSED CONCRETE (HEAVY DUTY)
	PROP. STORM SEWER
	FLOW DIRECTION & SLOPE

SOIL EROSION CONTROL SCHEDULE		2026										2027			
		APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR		
PLACE SILT FENCE															
STRIP & STOCKPILE TOPSOIL															
CONSTRUCT CONNECTION TO STORM SEWER															
ROUGH GRADE SITE															
CONSTRUCT BUILDING FOUNDATION AND BUILDING															
CONSTRUCT IMPROVEMENTS AROUND BUILDING															
CONSTRUCT UTILITY LINES TO BUILDING															
FINISH GRADE SITE															
PAVE SITE															
RESPREAD TOPSOIL/COMPACTION															
SEED DISTURBED AREAS															
SITE RESTORATION/CLEAN UP															

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (MARCH 2021) FOR ADDITIONAL INFORMATION
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SESC AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SESC MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.



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PREPARED FOR:

MSU - FCU
Attn: Erin Bowdell

3777 West Road
East Lansing, MI 48823
(517) 333-2424

REVISIONS:

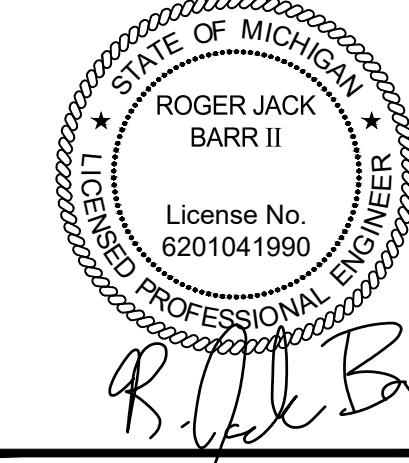
Title: Site Plan Submittal
Drawn: AH/EG Checked: JB Date: 04/23/2026

MSU Federal Credit Union

S.E.S.C. & Grading Plan

1661 MARKETPLACE DRIVE SE, CALEDONIA, MI 49316
PART OF THE SW 1/4 OF SECTION 4, T5N, R11W,
GAINES TOWNSHIP, KENT COUNTY, MICHIGAN

SEAL:



PROJECT NO:
25401551

SHEET NO:
C-300

SEWER INVENTORIES

LAWN BASIN #100
RIM - 755.96
NO VISIBLE PIPES

LAWN BASIN #101
RIM - 755.59
NO VISIBLE PIPES

CATCH BASIN #102
RIM - 755.18
15" HDPE N - 749.64
4" CPP NE - 751.01 (TOP OF PIPE)
4" CPP SE - 750.58
15" HDPE S - 749.68
4" CPP SW - 750.58
4" CPP NW - 750.73

CATCH BASIN #103
RIM - 754.17
12" HDPE NE - 751.45
6" PVC E - 753.02

STORM MANHOLE #104
RIM - 755.63
12" RCP N - 744.54
12" HDPE E - 751.85
12" HDPE SW - 750.75
12" RCP W - 748.93

CATCH BASIN #105
RIM - 757.68
12" HDPE SW - 755.28

CATCH BASIN #106
RIM - 756.79
12" HDPE SE - 755.01

CATCH BASIN #107
RIM - 757.40
15" HDPE N - 750.43
12" HDPE E - 750.49
12" HDPE W - 750.48

CATCH BASIN #108
RIM - 755.14
NO VISIBLE PIPES

SANITARY MANHOLE #200
RIM - 755.69
8" PVC E - 746.27
8" PVC SW - 746.33

CATCH BASIN #109
RIM - 756.79
12" HDPE SE - 755.01

CATCH BASIN #110
RIM - 757.40
15" HDPE N - 750.43
12" HDPE E - 750.49
12" HDPE W - 750.48

CATCH BASIN #111
RIM - 755.14
NO VISIBLE PIPES

CATCH BASIN #112
RIM - 756.79
12" HDPE SE - 755.01

CATCH BASIN #113
RIM - 757.40
15" HDPE N - 750.43
12" HDPE E - 750.49
12" HDPE W - 750.48

CATCH BASIN #114
RIM - 755.14
NO VISIBLE PIPES

CATCH BASIN #115
RIM - 756.79
12" HDPE SE - 755.01

CATCH BASIN #116
RIM - 757.40
15" HDPE N - 750.43
12" HDPE E - 750.49
12" HDPE W - 750.48

CATCH BASIN #117
RIM - 755.14
NO VISIBLE PIPES

CATCH BASIN #118
RIM - 756.79
12" HDPE SE - 755.01

CATCH BASIN #119
RIM - 757.40
15" HDPE N - 750.43
12" HDPE E - 750.49
12" HDPE W - 750.48

CATCH BASIN #120
RIM - 755.14
NO VISIBLE PIPES

CATCH BASIN #121
RIM - 756.79
12" HDPE SE - 755.01

CATCH BASIN #122
RIM - 757.40
15" HDPE N - 750.43
12" HDPE E - 750.49
12" HDPE W - 750.48

CATCH BASIN #123
RIM - 755.14
NO VISIBLE PIPES

CATCH BASIN #124
RIM - 756.79
12" HDPE SE - 755.01

CATCH BASIN #125
RIM - 757.40
15" HDPE N - 750.43
12" HDPE E - 750.49
12" HDPE W - 750.48

CATCH BASIN #126
RIM - 755.14
NO VISIBLE PIPES

CATCH BASIN #127
RIM - 756.79
12" HDPE SE - 755.01

CATCH BASIN #128
RIM - 757.40
15" HDPE N - 750.43
12" HDPE E - 750.49
12" HDPE W - 750.48

CATCH BASIN #129
RIM - 755.14
NO VISIBLE PIPES

CATCH BASIN #130
RIM - 756.79
12" HDPE SE - 755.01

CATCH BASIN #131
RIM - 757.40
15" HDPE N - 750.43
12" HDPE E - 750.49
12" HDPE W - 750.48

CATCH BASIN #132
RIM - 755.14
NO VISIBLE PIPES

CATCH BASIN #133
RIM - 756.79
12" HDPE SE - 755.01

CATCH BASIN #134
RIM - 757.40
15" HDPE N - 750.43
12" HDPE E - 750.49
12" HDPE W - 750.48

CATCH BASIN #135
RIM - 755.14
NO VISIBLE PIPES

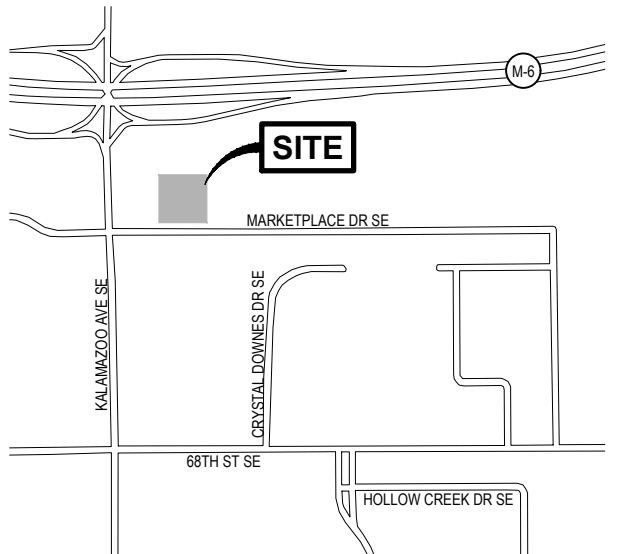
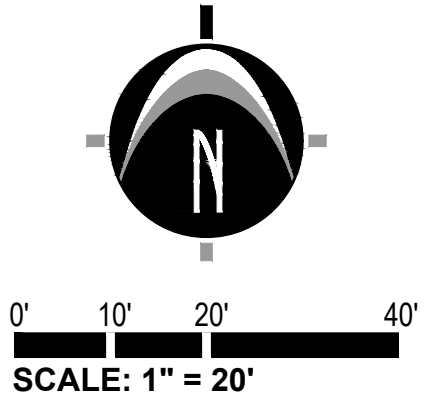
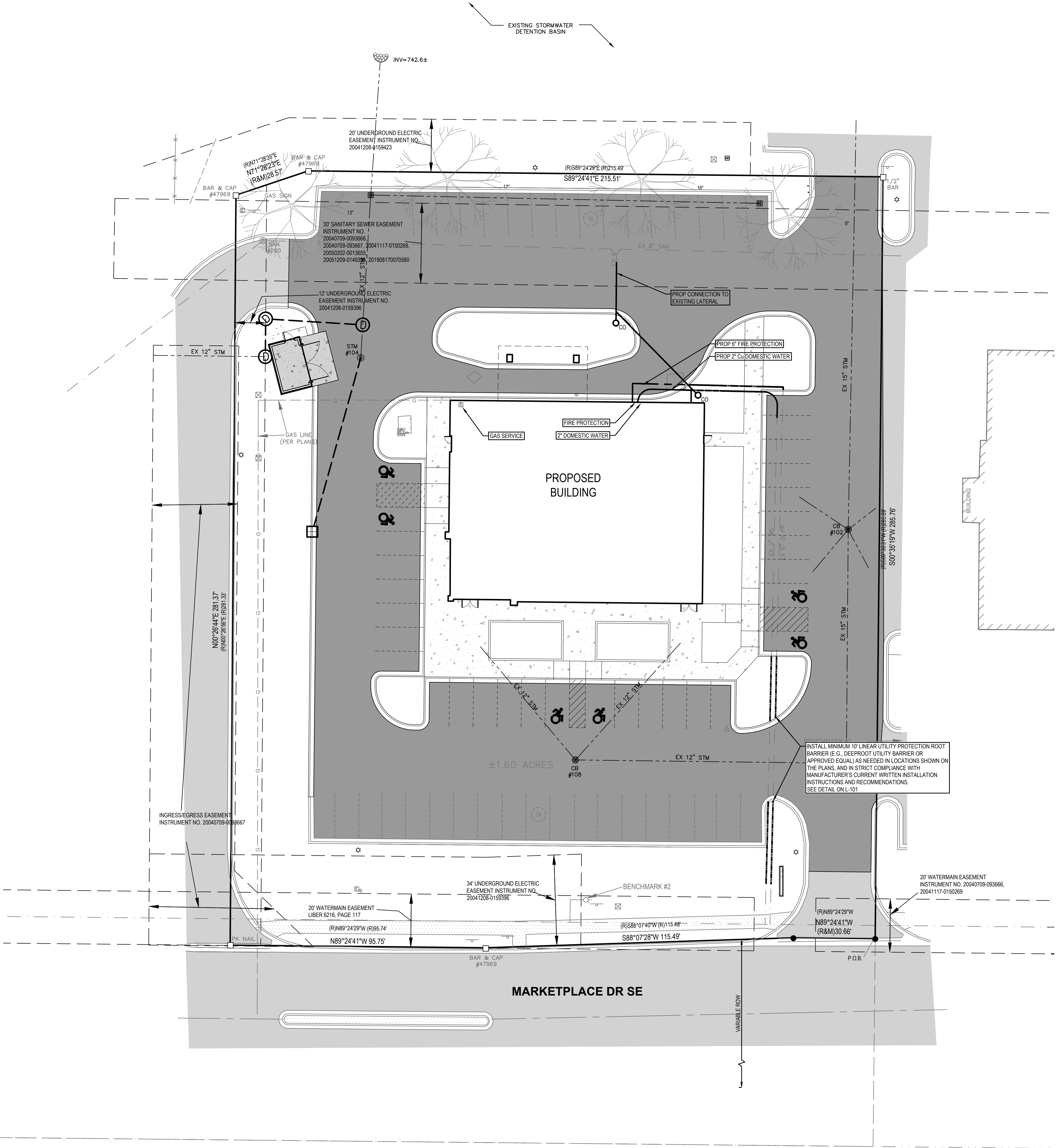
CATCH BASIN #136
RIM - 756.79
12" HDPE SE - 755.01

CATCH BASIN #137
RIM - 757.40
15" HDPE N - 750.43
12" HDPE E - 750.49
12" HDPE W - 750.48



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LOCATION MAP

NOT TO SCALE

LEGEND

- EX. GRADE CONTOUR
- PROP. GRADE CONTOUR
- EX. BITUMINOUS
- EX. CONCRETE
- PROPOSED BITUMINOUS (STANDARD DUTY)
- PROPOSED BITUMINOUS (HEAVY DUTY)
- PROPOSED CONCRETE (STANDARD DUTY)
- PROPOSED CONCRETE (HEAVY DUTY)
- PROP. STORM SEWER
- PROP. SANITARY LATERAL CLEANOUT
- PROP. SANITARY SEWER
- PROP. WATERMAIN

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PREPARED FOR:

MSU - FCU
Attn: Erin Bowdell

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East Lansing, MI 48823
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REVISIONS:

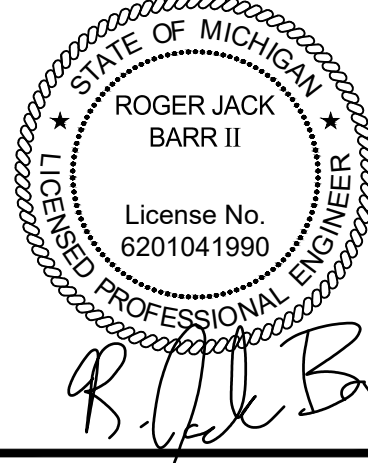
Title: Site Plan Submittal
Drawn: AH/EG Checked: JB Date: 04/23/2026

MSU Federal Credit Union

Utility Plan

1651 MARKETPLACE DRIVE SE, CALEDONIA, MI 49316
PART OF THE SW 1/4 OF SECTION 4, T5N, R11W,
GAINES TOWNSHIP, KENT COUNTY, MICHIGAN

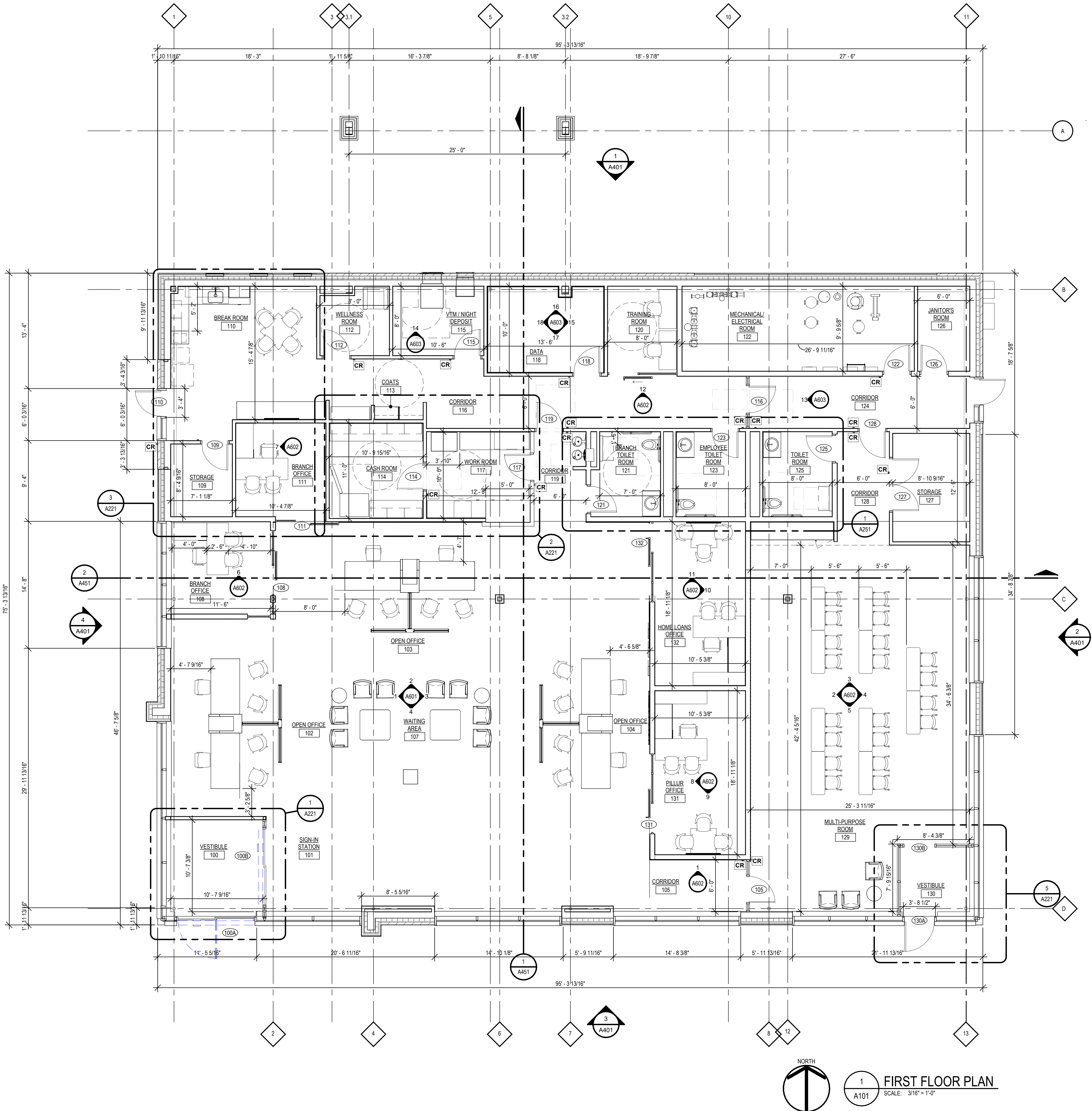
SEAL:



PROJECT NO:
25401551

SHEET NO:
C-400





FLOOR PLAN LEGEND	
	SHADED AREA INDICATES EXISTING CONSTRUCTION TO REMAIN (IND)
	GYPSUM BOARD WALL WITH METAL STUDS (UN)
	PRECAST CONCRETE WALL - REFER TO STRUCTURAL DOCUMENTS
	CONCRETE MASONRY UNIT - REFER TO STRUCTURAL DOCUMENTS
	BRICK WALL - REFER TO STRUCTURAL DOCUMENTS
	CAST-IN-PLACE CONCRETE WALL - REFER TO STRUCTURAL DOCUMENTS
	PROPERTY LINE
	LINE OF CONSTRUCTION ABOVE
	CONCRETE MASONRY UNIT - BULLNOSE
	PARTITION TYPE - REFER TO A051
	EMERGENCY BLUE PHONE
	WALL MOUNTED FIRE EXTINGUISHER
	FIRE EXTINGUISHER CABINET - SURFACE MOUNTED
	FIRE EXTINGUISHER CABINET - RECESSED MOUNTED
	RATED FIRE EXTINGUISHER CABINET - RECESSED MOUNTED
	CARD READER
	FUTURE CARD READER
	BARRIER FREE DOOR OPERATOR
	INTERCOM
	CABINET UNIT HEATER - WALL MOUNTED
	CABINET UNIT HEATER - RECESSED MOUNTED
	MASONRY MOVEMENT JOINT
	CONTROL JOINT
	EXPANSION JOINT

ROOM AREAS	
Name	Area
JANITOR'S ROOM	59 SF
MECHANICAL/ELECTRICAL ROOM	265 SF
TRAINING ROOM	81 SF
DATA	133 SF
VTM/NIGHT DEPOSIT	84 SF
WELLNESS ROOM	60 SF
WORK ROOM	123 SF
BRANCH TOILET ROOM	74 SF
EMPLOYEE TOILET ROOM	78 SF
TOILET ROOM	78 SF
STORAGE	111 SF
HOME LOANS OFFICE	199 SF
PILLUR OFFICE	199 SF
VESTIBULE	122 SF
BRANCH OFFICE	115 SF
BREAK ROOM	273 SF
BRANCH OFFICE	125 SF
CORRIDOR	307 SF
CORRIDOR	169 SF
CASH ROOM	119 SF
MULTI-PURPOSE ROOM	1041 SF
WAITING AREA	314 SF
STORAGE	99 SF
VESTIBULE	67 SF
OPEN OFFICE	383 SF
OPEN OFFICE	776 SF
OPEN OFFICE	410 SF
WAITING AREA	207 SF
SIGN-IN STATION	137 SF
CORRIDOR	68 SF
CORRIDOR	62 SF
COATS	11 SF
CORRIDOR	63 SF
	6366 SF

Seal

Revisions

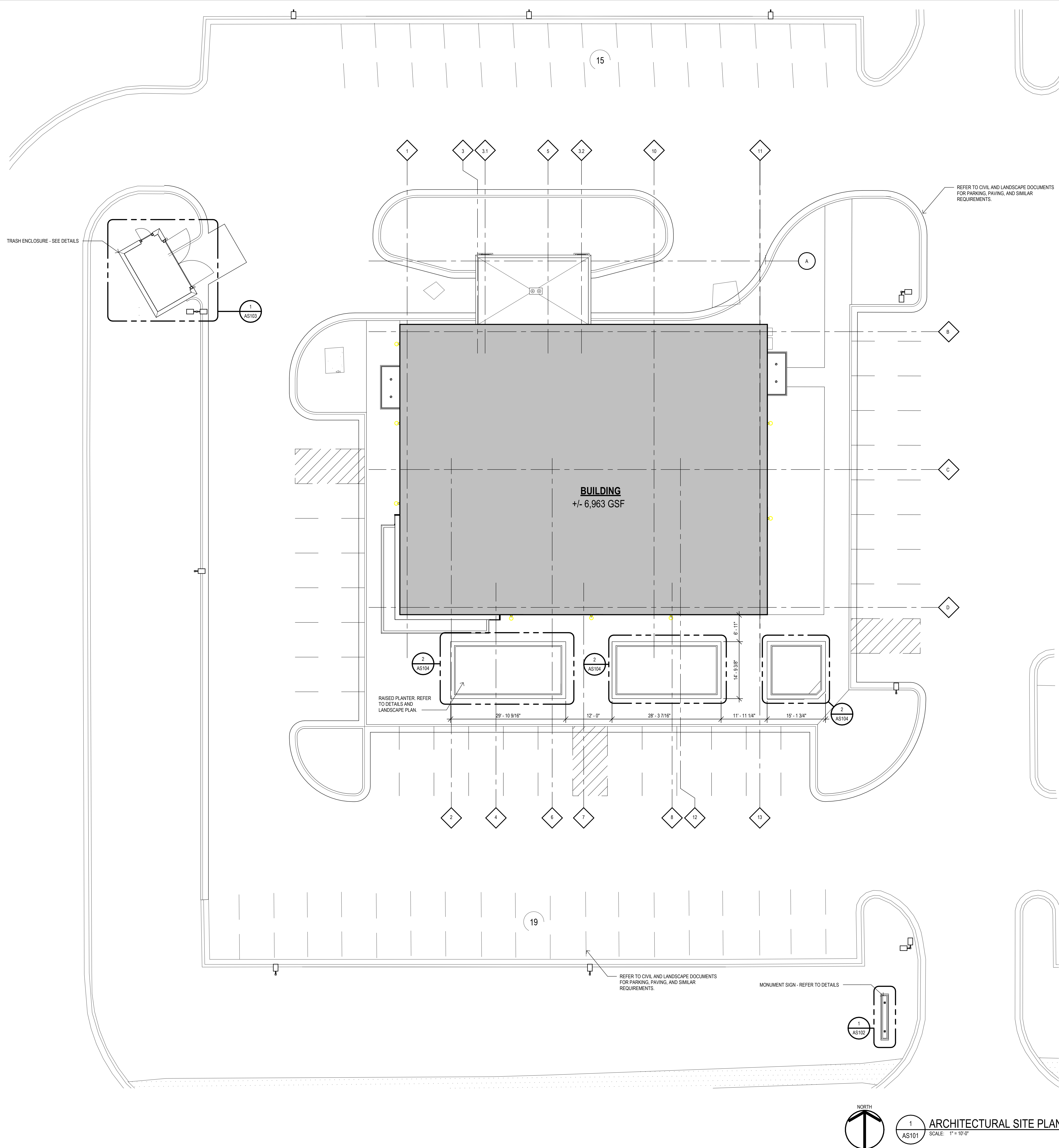
04.23.2026 SITE PLAN APPROVAL
04.06.2026 SCHEMATIC DESIGN

DO NOT SCALE
Use figured dimensions only

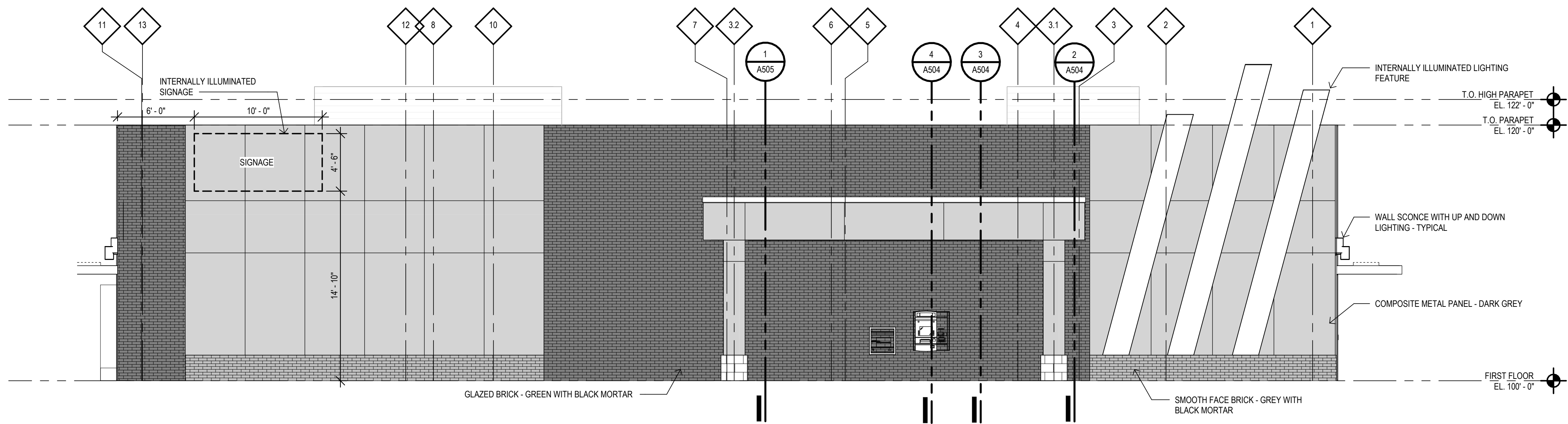
N/S Project Number: **2025078**

Title
**ARCHITECTURAL
SITE PLAN**

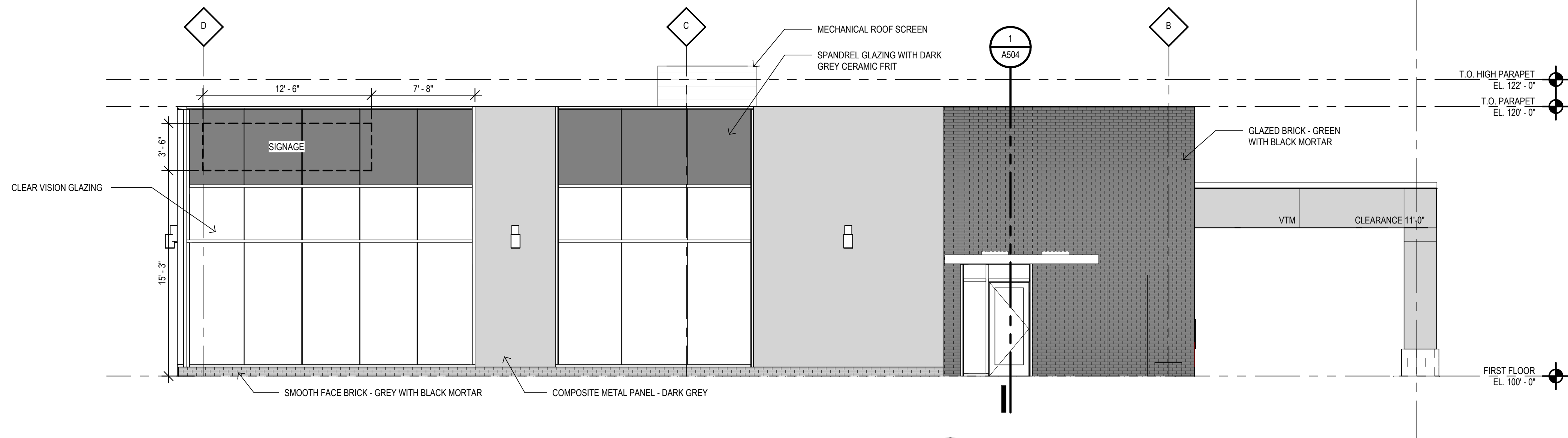
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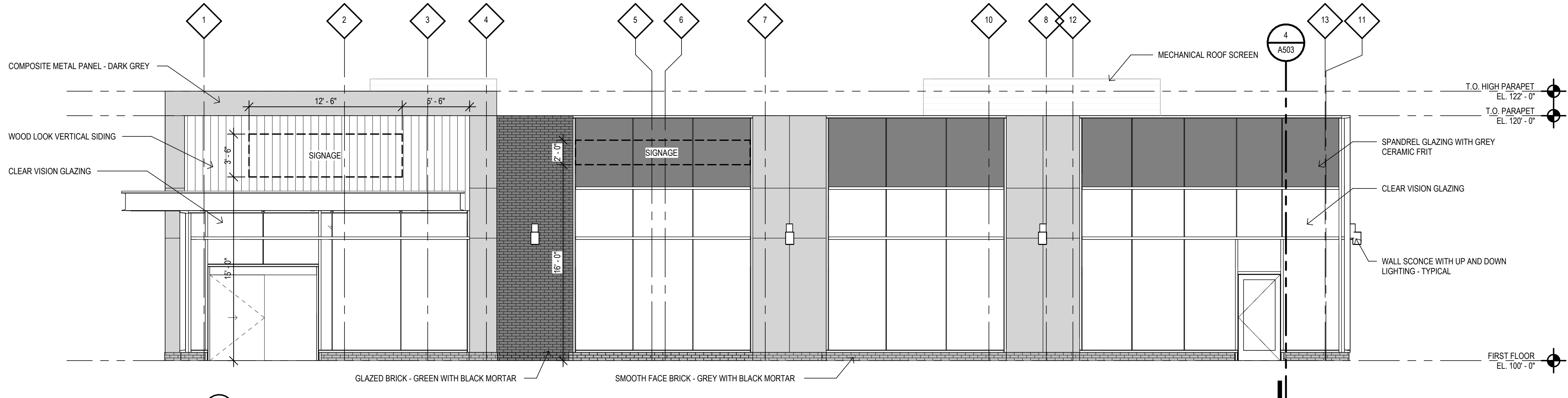
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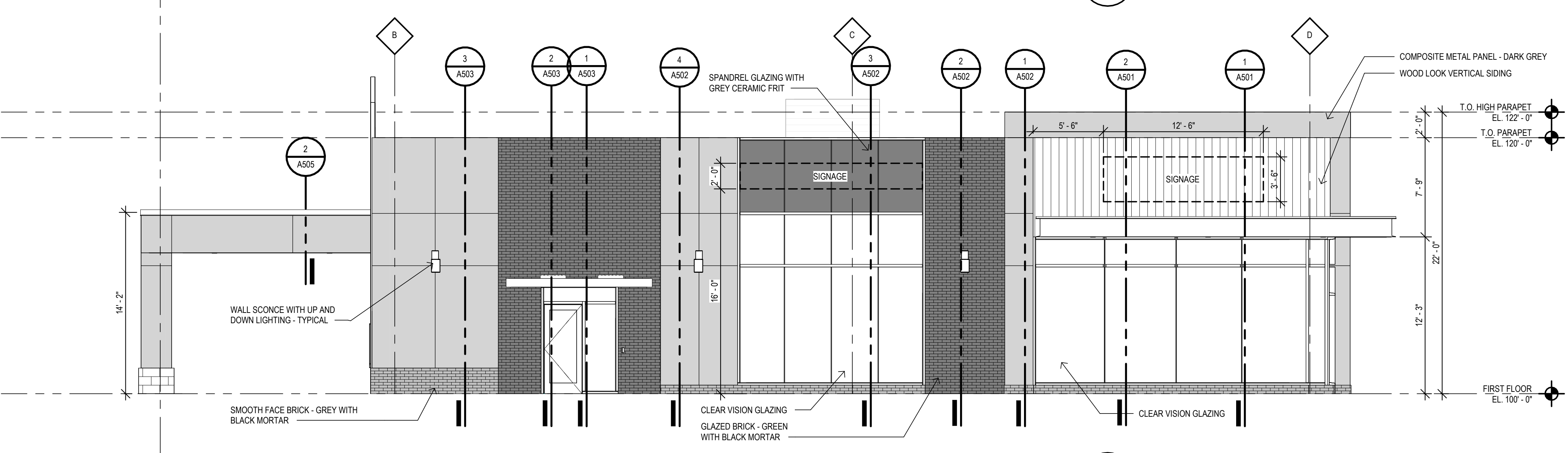
1
A101
EXTERIOR ELEVATIONS
SCALE: 3/16" = 1'-0"



2
A101
EXTERIOR ELEVATIONS
SCALE: 3/16" = 1'-0"



3
A101
EXTERIOR ELEVATIONS
SCALE: 3/16" = 1'-0"



4
A101
EXTERIOR ELEVATIONS
SCALE: 3/16" = 1'-0"

EXTERIOR ELEVATION LEGEND			
TAG	MATERIAL	DESCRIPTION	HATCH PATTERN
BR1	UNIT MASONRY BRICK TYPE 1	ELGIN BUTLER - GLAZED	
BR2	UNIT MASONRY BRICK TYPE 2	ENDICOTT BRICK - MANGANESE GREY - SMOOTH	
GL1	GLASS TYPE 1	CURTAIN WALL GLAZING	
GL2	GLASS TYPE 2	SPANDREL GLAZING / GREY FRIT	
MP1	METAL PANEL TYPE 1	ALPOLIC - CNC CHARCOAL	
MP2	METAL PANEL TYPE 2	CURTAIN WALL FRAMING	
FCP-1	FIBER CEMENT PANEL	NICHHA - VINTAGE CEDAR	
ACM-1	ALUMINUM COMPOSITE METAL 1	UNDERSIDE OF CANOPY	
W	WINDOW TYPE / PRECAST TYPE		

ENVELOPE TRANSPARENCY PERCENTAGES		
	TOTAL AREA	GLAZING
NORTH	1900 SF	132 SF
SOUTH	1983 SF	1202 SF
WEST	1585 SF	581 SF
EAST	1500 SF	680 SF
OVERALL	6965 SF	2595 SF

Seal

Revisions



Michigan State University
Federal Credit Union -
Marketplace Branch

1651 Marketplace Dr. SE
Grand Rapids, MI 49508

Seal

Revisions

04.23.2026 SITE PLAN APPROVAL

DO NOT SCALE
Use figured dimensions only

N/S Project Number: 2025078

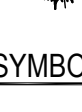
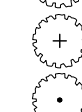
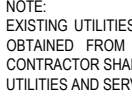
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EXTERIOR
RENDERS

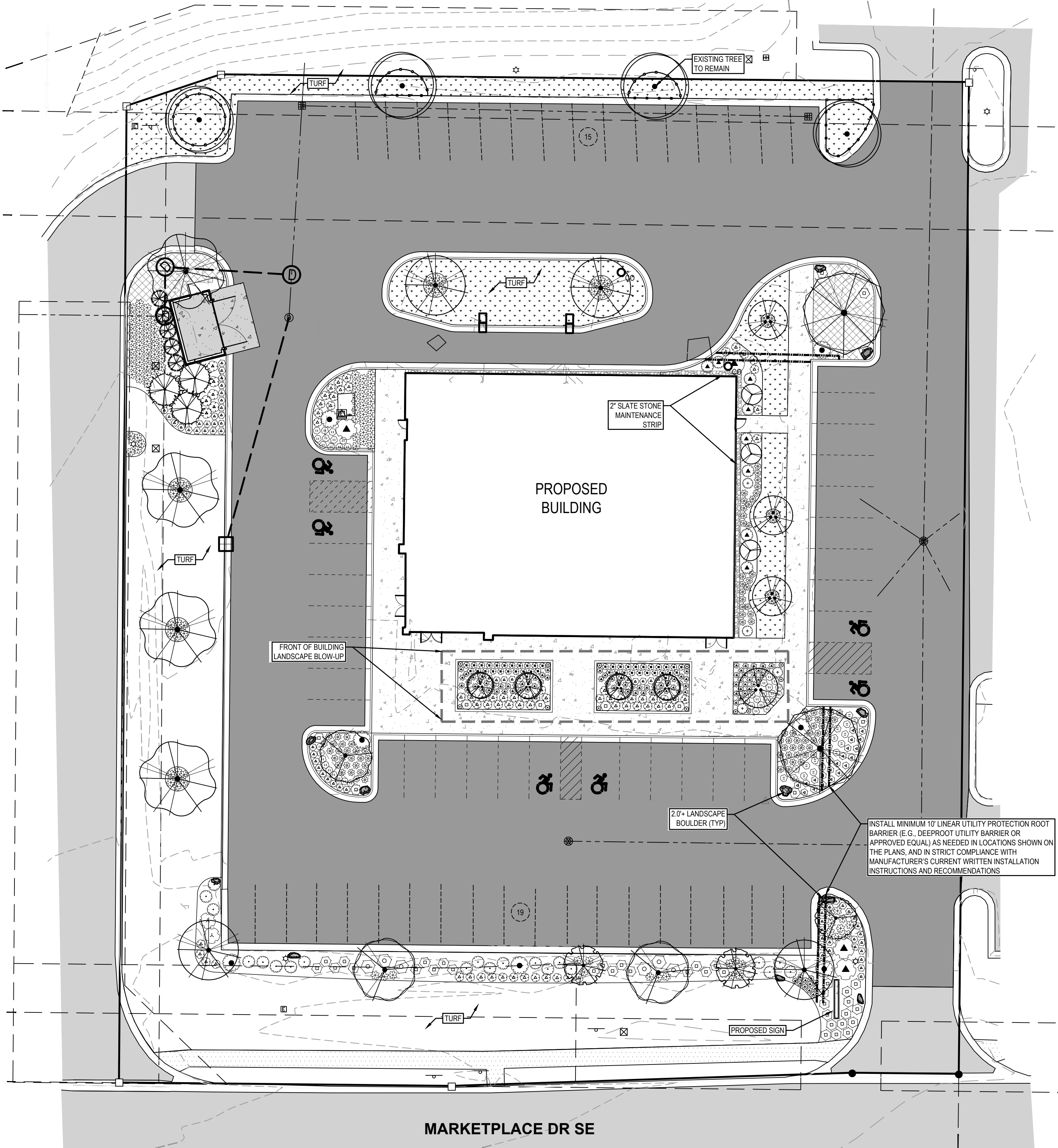
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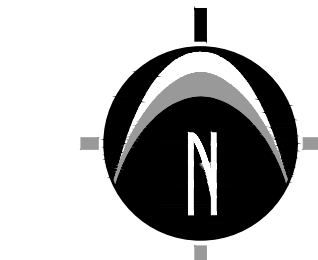
LANDSCAPE SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
TREES						
	As	Amelanchier laevis 'JFS-Arb'	Spring Flurry® Allegheny Serviceberry	2.5" Cal.	1	
	Ame yix	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8'/10' #25	4	
	Cel prs	Celtis occidentalis 'JFS-KSU1'	Prairie Sentinel® Hackberry	3.0" Cal.	2	
	Gym aet	Gymnocladus dioicus 'Morton'	Skinny Latte™ Kentucky Coffeetree	3.0" Cal.	2	
	Jm	Juniperus scopulorum 'Moonglow'	Moonglow Juniper	6' hgt. min.	5	
	Liq sle	Liquidambar styraciflua 'Slender Silhouette'	Slender Silhouette Sweet Gum	3.0" Cal.	3	
	Liq wo3	Liquidambar styraciflua 'Worpleston'	Worpleston Sweet Gum	3.0" Cal.	4	
	Lt	Liriodendron tulipifera	Tulip Poplar	3.0" Cal.	2	
	Lir fas	Liriodendron tulipifera 'Fastigiata'	Columnar Tulip Poplar	3.0" Cal.	1	
	Mag nor	Magnolia virginiana 'Northern Belle'	Northern Belle Sweetbay Magnolia	7'/8' Clump	4	
	Nys fdp	Nyssa sylvatica 'David Odor'	Afterburner® Tupelo	3.0" Cal.	4	
	Pf	Pinus strobus 'Fastigiata'	Pyramidal White Pine	8' Hgt.	3	
SYMBOL CODE BOTANICAL NAME COMMON NAME SIZE SPACING QTY						
SHRUBS						
	Cle tom	Clethra alnifolia 'Tom's Compact'	Tom's Compact Summersweet	#7	42" o.c.	8
	Hw	Hydrangea quercifolia 'Pee Wee'	Pee Wee Oakleaf Hydrangea	#5	36" o.c.	6
	Jun hje	Juniperus horizontalis 'Hegeodus'	Good Vibrations® Gold Juniper	#7	48" o.c.	6
	Jun bi7	Juniperus squamata 'Blue Star'	Blue Star Juniper	#7	36" o.c.	46
	Jk	Juniperus x 'Grey Owl'	Grey Owl Juniper	#5	54" o.c.	2
	Mp	Myrica pensylvanica	Northern Bayberry	#7	72" o.c.	4
	Pp	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	#10	60" o.c.	7
	Ps3	Pinus strobus 'Sea Urchin'	Sea Urchin White Pine	#5	36" o.c.	4
	Tc2	Thuja occidentalis 'Congabe'	Fire Chief™ Arborvitae	#5	42" o.c.	21
PERENNIALS						
	Am3	Achillea x 'Moonshine'	Moonshine Yarrow	#2	24" o.c.	85
	Af	Agastache x 'Blue Fortune'	Blue Fortune Anise Hyssop	#2	24" o.c.	56
	Bou blo	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	#1	24" o.c.	99
	Nep rac	Nepeta racemosa 'Walker's Low'	Walker's Low Catmint	#2	30" o.c.	66
	Sa2	Sedum rupestre 'Angelina'	Angelina Sedum	#1	15" o.c.	12
	Si	Sorghastrum nutans 'MNYG318153'	Golden Sunset® Indian Grass	#3	30" o.c.	123
	St	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	#1	21" o.c.	95
	Vm	Veronica x 'White Wands'	Magic Show White Wands Speedwell	#2	21" o.c.	46
GROUND COVERS						
	Bou bi2	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	#1	28" o.c.	123



LEGEND

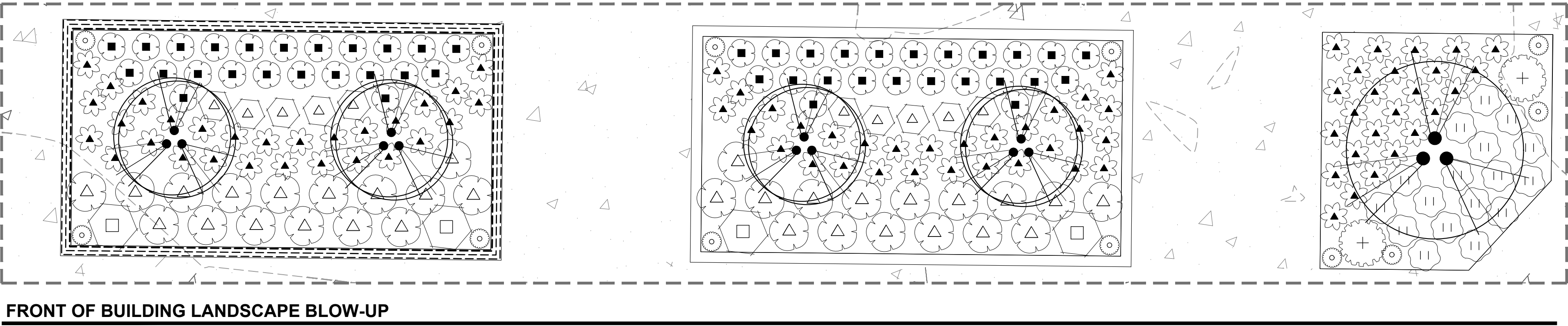
	EXISTING BITUMINOUS
	EXISTING CONCRETE
	PROPOSED BITUMINOUS (STANDARD DUTY)
	PROPOSED BITUMINOUS (HEAVY DUTY)
	PROPOSED CONCRETE (STANDARD DUTY)
	PROPOSED CONCRETE (HEAVY DUTY)



0' 10' 20' 40'
SCALE: 1" = 20'

LANDSCAPE CALCULATIONS

FRONT YARD TREES (SEC 23.50): 1 MEDIUM TREE PER 35.0'
REQUIRED: MARKETPLACE DRIVE = 211.25 / 35.0 = 6.04 = 6 TREES
PROPOSED: 6 TREES
LANDSCAPE BUFFERING (SEC 23.60):
REQUIRED: N/A
PROPOSED: N/A
SCREENING (SEC 23.70): SCREENING OF DUMPSTER ENCLOSURE
REQUIRED: SOLID ARCHITECTURAL SCREENING AROUND DUMPSTER
PROPOSED: SOLID ARCHITECTURAL SCREEN AND EVERGREEN SHRUBS
PARKING LANDSCAPE REQUIREMENTS (SEC 23.80): 1 TREE PER 12 SPACES AND 2 SHRUBS PER PARKING SPACE THAT ABUTS ROW
REQUIRED CANOPY TREES: 66 SPACES / 12 = 5.5 = 6.0 TREES
REQUIRED SCREENING OF ROW: 19 SPACES * 2 = 38 SHRUBS
PROPOSED: 7 TREES AND 47 SHRUBS
STREETSCAPE TREE REQUIREMENT (SEC 5.8.04.E.1.B - EAST BELTLINE OVERLAY DISTRICT & SEC 5.11.13): 5 TREES PER 100.0' OF FRONTAGE
REQUIRED: 300.54' OF FRONTAGE ALONG EAST BELTLINE = 300.54 / 100 * 5 = 15.37 = 15 TREES
EXISTING: 3 TREES
PROPOSED: 13 TREES
TOTAL: 16 TREES



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

www.nederveld.com
800.222.1868

GRAND RAPIDS
217 Grandville Ave., Suite 302
Grand Rapids, MI 49503
Phone: 616.375.5190

ANN ARBOR
3037 Miller Rd.
Ann Arbor, MI 48103
Phone: 734.959.6963

HOLLAND
730 Chicago Dr.
Holland, MI 49423
Phone: 616.393.0449

PREPARED FOR:

MSU - FCU
Attn: Erin Bowdell

3777 West Road
East Lansing, MI 48823
(517) 333-2424

REVISIONS:

Title: Site Plan Submittal
Drawn: AH/EG Checked: JB Date: 04/23/2026

MSU Federal Credit Union

Landscape Plan

1651 MARKETPLACE DRIVE SE, CALEDONIA, MI 49316
PART OF THE SW 1/4 OF SECTION 4, T5N, R11W,
GAINES TOWNSHIP, KENT COUNTY, MICHIGAN

SEAL:



Evan Gill

PROJECT NO:
25401551

SHEET NO:
L-100

3777 West Road
East Lansing, MI 48823
(517) 333-2424

1

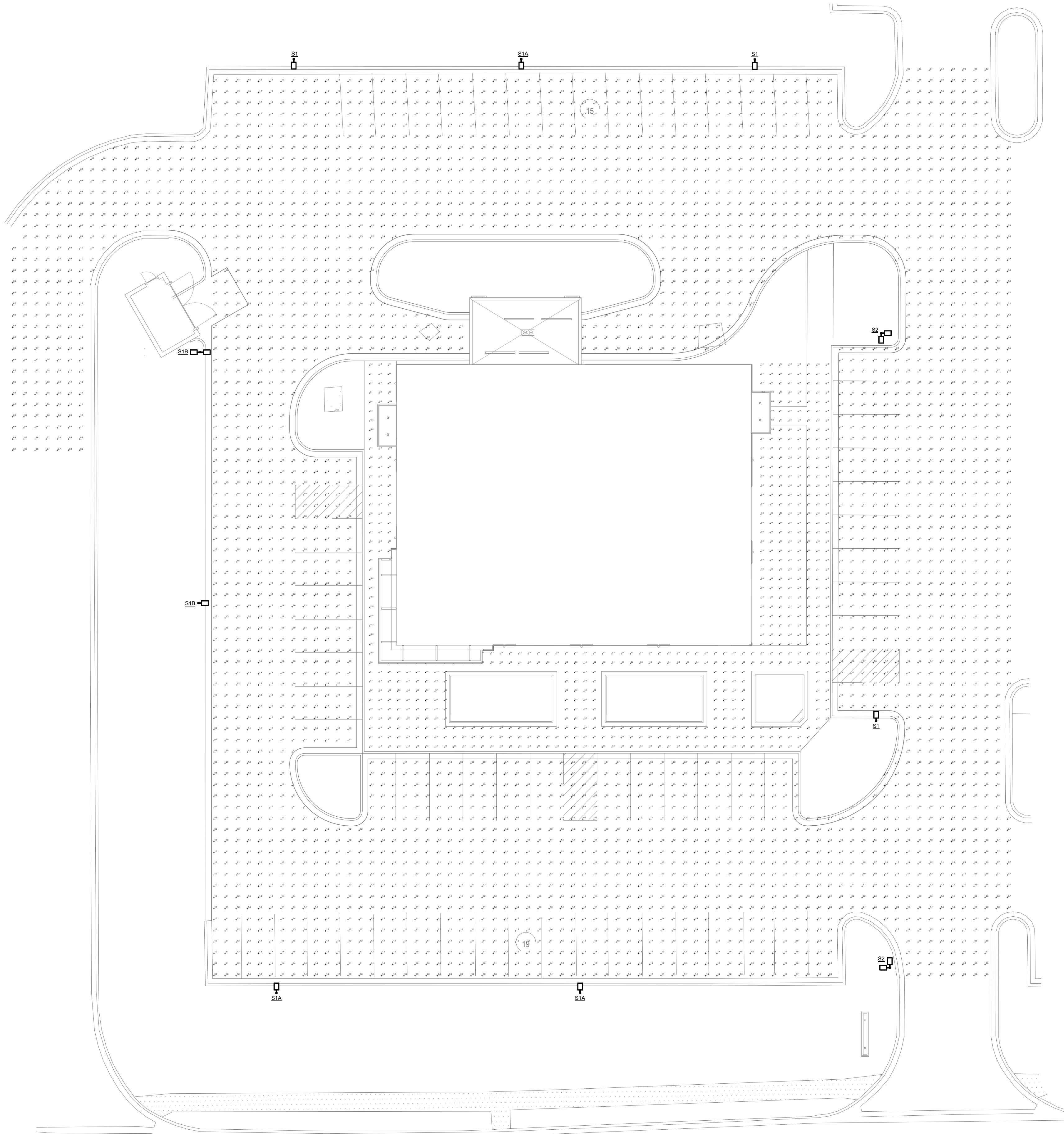
———— Land Planning ———— Landscape Architecture ———— Civil Engineering ———— Land Surveying ———— Reality Capture ———— Forensic Services

Living — Reality Capture — Forensic Services —

N.T.S.

N.T.S.

1651 MARKETPLACE DRIVE SE, CALEDONIA, MI 49316
PART OF THE SW 1/4 OF SECTION 4, T5N, R11W,
GAINES TOWNSHIP, KENT COUNTY, MICHIGAN



1

1/16" = 1'-0"

ELECTRICAL SITE PLAN - PHOTOMETRICS

Schedule											
Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot
	F1A		6	VIAWET-TMG+HLO-LED-80-750-30-4FT	Via Wet	LED'S White c/w Driver @ 120.00V	1	2909	0.9	34.48	 Max: 1537cd
	F1B		8	VIAWET-TMG+HLO-LED-80-500-30-4FT	Via Wet	LED'S White c/w Driver @ 120.00V	1	1939	0.9	22.47	 Max: 1025cd
	F2		4	EVO4SQ 30/15 AR LSS	EVO 4IN SQUARE, 80CRI, 3000K, 1500LM, CLEAR SEMI-SPEC		1	1527	0.9	13.7	 Max: 1810cd
	F3		8	T42012NW00	EFFETTO 14S 2 FASCI STRETTI 3000K grigio bianco	3000K - lmax=16370 cd/klm - -LED Flux=454 lm - LED Power=4.2 W - Effic=8.3% - EfficLED=108 lm/W - EfficLum=5.37 lm/W - Ra=80 min -SDCM=4- Life=L70(9K)>51400 ore	1	38	0.9	7	 Max: 616cd
	S1		3	DSX1 LED P2 30K 80CRI TFTM HS	D-Series Size 1 Area Luminaire P2 Performance Package 3000K CCT 80 CRI Forward Throw Houseside Shield		1	7288	0.9	67.7927	 Max: 7079cd
	S1A		3	DSX1 LED P2 30K 80CRI T4M HS	D-Series Size 1 Area Luminaire P2 Performance Package 3000K CCT 80 CRI Type 4 Medium Houseside Shield		1	7425	0.9	67.7927	 Max: 6300cd
	S1B		3	DSX1 LED P2 30K 80CRI T3M HS	D-Series Size 1 Area Luminaire P2 Performance Package 3000K CCT 80 CRI Type 3 Medium Houseside Shield		1	7371	0.9	67.7927	 Max: 6130cd
	S2		2	DSX1 LED P2 30K 80CRI TFTM HS	D-Series Size 1 Area Luminaire P2 Performance Package 3000K CCT 80 CRI Forward Throw Houseside Shield		1	7288	0.9	135.5854	 Max: 7079cd

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BUILDING WALKWAY		3.0 fc	36.0 fc	0.1 fc	360.0:1	30.0:1
DRIVE-THRU		15.5 fc	24.9 fc	4.4 fc	5.7:1	3.5:1
PARKING/DRIVE		1.3 fc	9.4 fc	0.3 fc	31.3:1	4.3:1

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

263 SHUMAN BOULEVARD
SUITE 650
NAPERVILLE, IL 60563
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www.imegcorp.com

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012345678910

REF. SCALE IN INCHES

PROJECT #20000419.00

DO NOT SCALE
Use figured dimensions only

N/S Project Number: **MPC01.04**

Title

**ELECTRICAL
SITE PLAN -
PHOTOMETRICS**

Sheet

E002

NOT FOR CONSTRUCTION

Seal

Revisions

04.06.2026 SCHEMATIC DESIGN

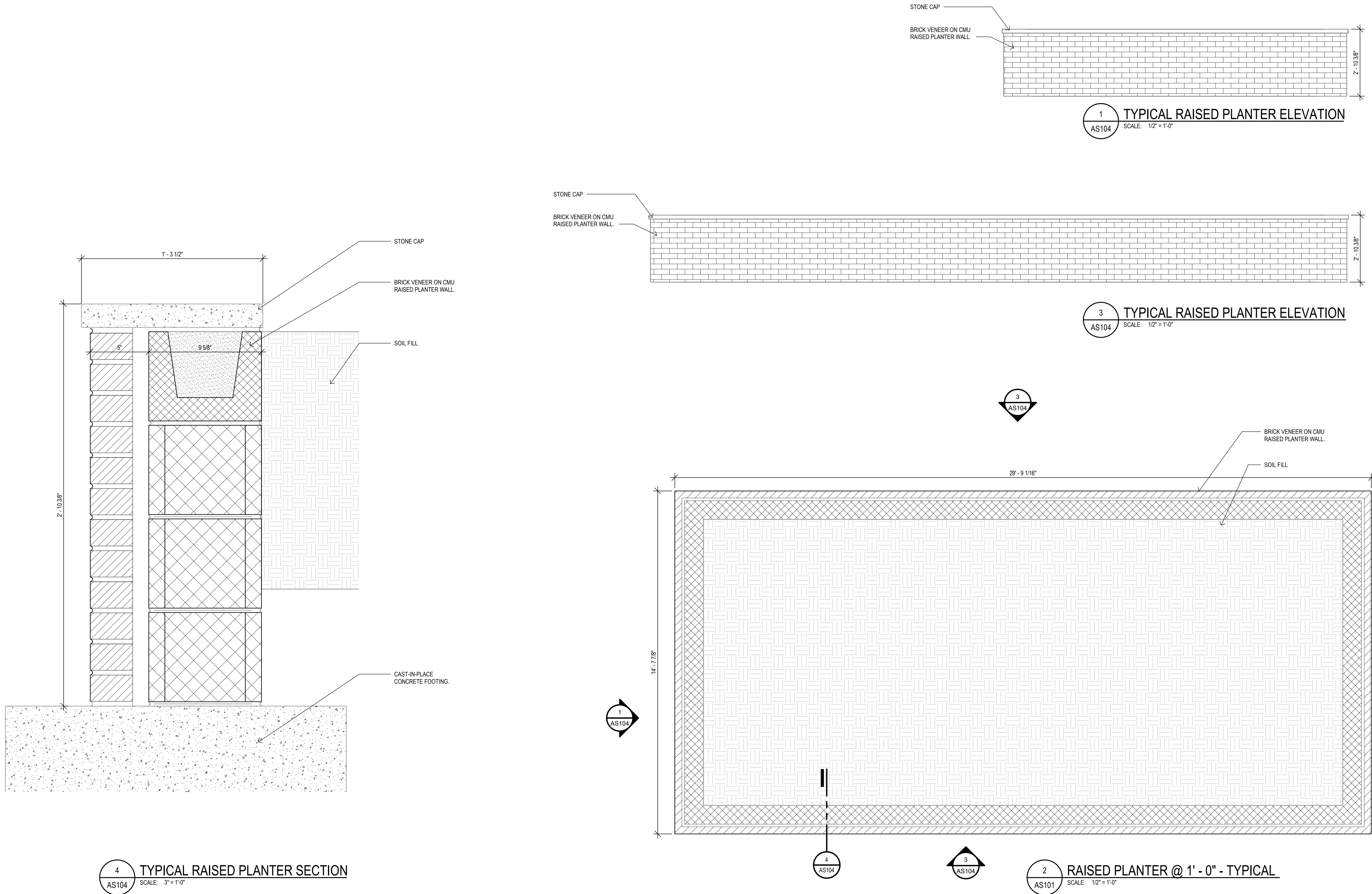
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N/S Project Number: 2025078

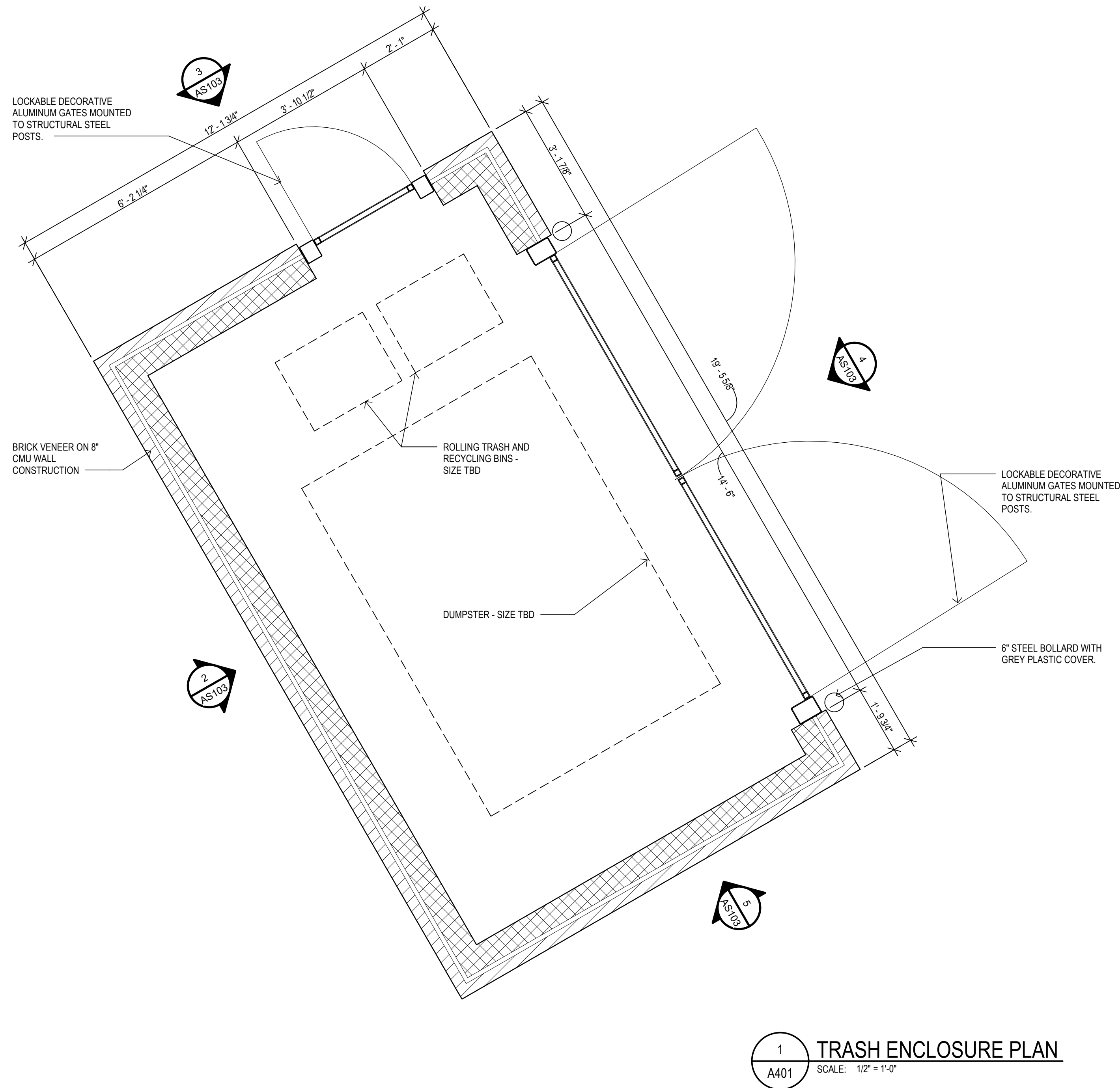
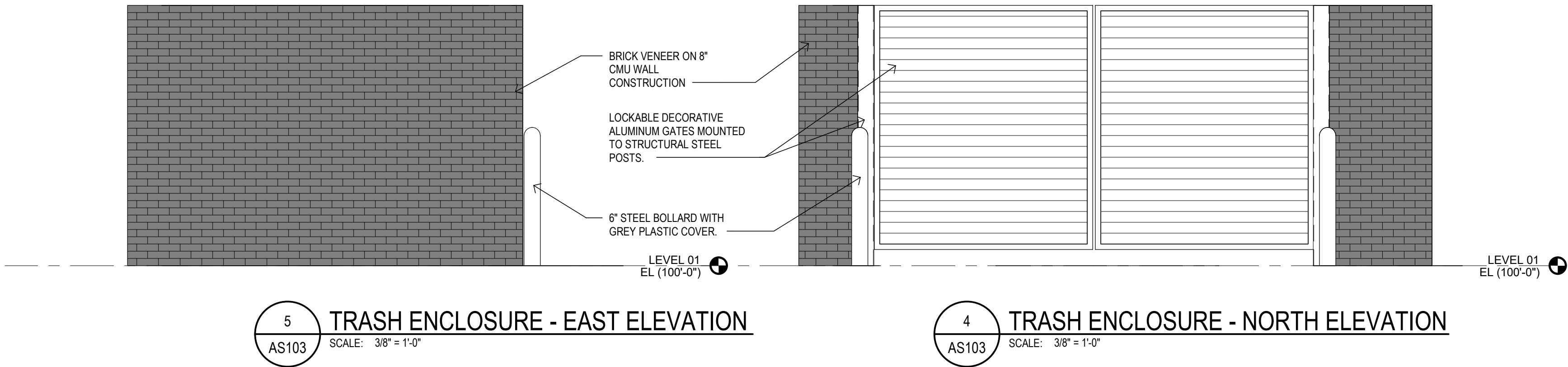
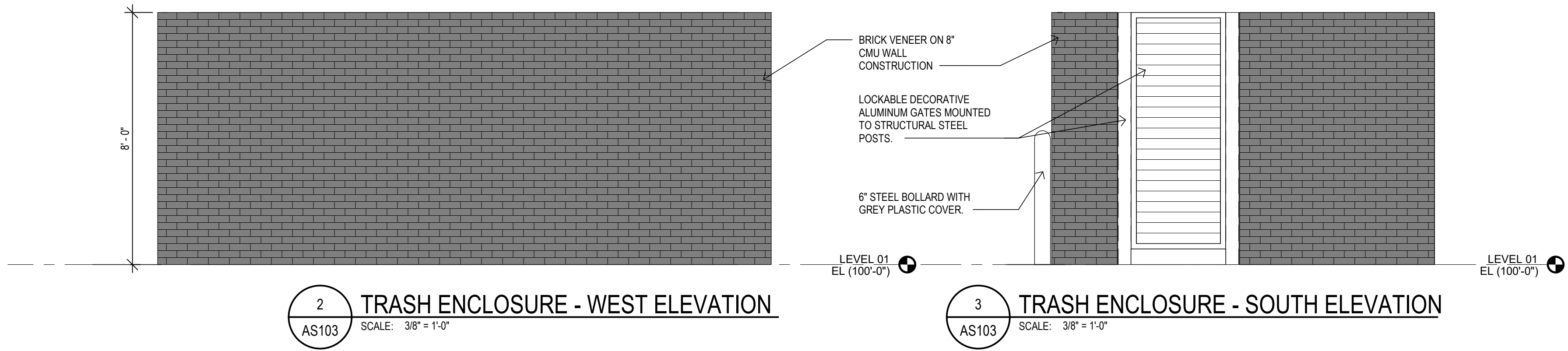
Title
**RAISED
PLANTER
DETAILS**

Sheet

AS104



ISSUED FOR REFERENCE ONLY



Seal

Revisions

04.06.2026 SCHEMATIC DESIGN

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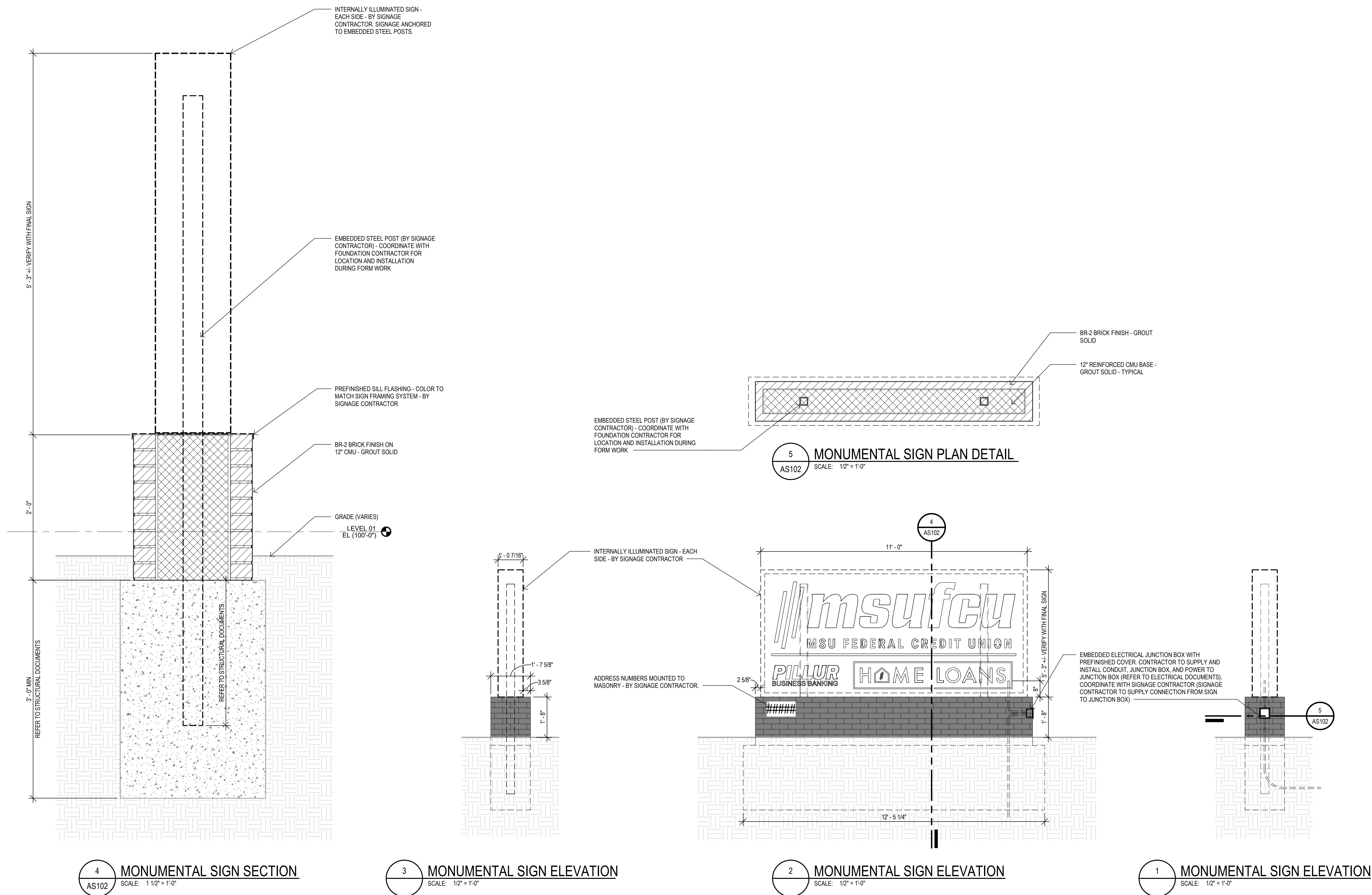
N/S Project Number: 2025078

Title
TRASH
ENCLOSURE
DETAILS

Sheet

AS103

ISSUED FOR REFERENCE ONLY



Seal

Revisions

04.06.2026 SCHEMATIC DESIGN

DO NOT SCALE
Use figured dimensions only

N/S Project Number: **2025078**

Title
**SIGNAGE
DETAILS**

Sheet
AS102

ISSUED FOR REFERENCE ONLY



May 14, 2026
1619

Via Email: dan.wells@gainestownship.org

Dan Wells, Community Development Director
Gaines Charter Township
8555 Kalamazoo Ave
Caledonia, MI 49316

RE: MSU Federal Credit Union – Preliminary Site Plan Review
1651 Marketplace Dr, Section 4, Gaines Charter Township

Dear Dan:

We have reviewed the site plan for the proposed development at 1651 Marketplace Drive that we received on April 24, 2026. We provide the following comments for the consideration of the Applicant and the Planning Commission.

1. Stormwater management for this site is provided by the regional detention pond to the north that serves the Gaines Marketplace development. The Applicant is proposing an overall reduction of the impervious area on site compared to the existing site layout. We find that no additional stormwater controls are needed for the site.
2. We recommend the Applicant contact the Gaines Township Water and Sewer Department to determine what connection fees and permits may be necessary for this site.
3. The Applicant's Engineer shall include the diameter, slope, and cleanout rim and invert elevations for the proposed lateral on the utility plan. We note that the lateral must be SDR26 or Schedule 40 PVC pipe and installed at a minimum 2% slope.
4. The Applicant's Engineer shall correct the removal note on the sanitary lateral. Currently it refers to a fire line.
5. The Applicant's Engineer shall label the invert elevation of the domestic water service and fire protection line where they enter the proposed building.
6. The Applicant's Engineer shall note that the entire proposed section of the 6-inch ductile iron fire protection line must be restrained. We note that the Byron-Gaines Utility Authority has indicated their records don't show the original fire protection service as restrained. Additional restraint may need to be provided along the existing portion of the fire protection line for the 90° bend proposed.

Dan Wells, Community Development Director

May 14, 2026

Page 2

7. The Applicant's Engineer shall note that the domestic water service must be Type K copper and the fire protection line must be Class 53 ductile iron pipe.
8. The Applicant's Engineer shall note that the ductile iron fire protection line must be pressure tested and chlorinated prior to reconnecting it to the existing service stub.
9. The Applicant's Engineer shall include the standard BGUA ductile iron riser pipe detail on the utility plan. The relevant elevations must be labeled on the detail; see attached.
10. The Applicant shall submit a fixture count to our office, and a water meter size will be determined for the proposed building. The Applicant will be responsible for all costs associated with the purchase and installation of the water meter.

Thank you for your consideration in this matter. If you have any questions or concerns, please do not hesitate to call.

Sincerely,

VK Civil



Nathan Bosma, P.E.

NFB/jmg

- c. Bob Terpstra, Township Supervisor
Rod Weersing, Township Manager
Connie Giarmo, Planning Commission Chair
Dakota Swan, Assistant Planner
Tracy Lawrence, Water & Sewer Administrator
John Stuyfzand, Building Inspector
Ken Van Hall, Fire Chief
Pat Quick, Fire Marshall
Micah Huver, Byron-Gaines Utility Authority
Jack Barr, P.E., Nederveld
Jeff Gritter, P.E., VK Civil



Gaines Charter Township Fire Department Inspection Report

Plan Review-New Building Inspection Result

Inspection Status

Completed

Inspected by

24-53 - Pat Quick

Completed at

04/29/2026

Business Name	Address	Suite	City	Zip
MSU Financial Credit Union	1651 Marketplace Dr SE	--	Grand Rapids	49508

Introduction:

ITEM: REVIEW REQUIREMENTS The following items are noted for compliance with code requirements. Code references to the 2024 International Fire Code, as amended, are noted IFC; references to the Michigan/International Building Code are noted MBC; references to National Fire Protection Association codes and standards are noted NFPA. Please review the appropriate code for further details. All construction and processes must meet applicable code provisions.

RESULT: Plan Review

REMARK:

New Credit Union being built on exiting restaurant site.

General Construction and Demolition:

ITEM: COMBUSTIBLE WASTE MATERIAL Combustible waste material creating a fire hazard shall not be allowed to accumulate in buildings or structures or upon premises (IFC 304.1) Accumulations of wastepaper, wood, hay, straw, weeds, litter or combustible or flammable waste or rubbish of any type shall not be permitted to remain on a roof or in any court, yard, vacant lot, alley, parking lot, open space, or beneath a grandstand, bleacher, pier, wharf, manufactured home, recreational vehicle or other similar structure (IFC 304.1.2) Weeds, grass, vines or other growth that is capable of being ignited and endangering property, shall be cut down and removed by the owner or occupant of the premises. Vegetation clearance requirements in wildland-urban interface areas shall be in accordance with the International Wildland-Urban Interface Code (IFC 304.1.3)

RESULT: Plan Review

ITEM: SPONTANEOUS IGNITION Materials susceptible to spontaneous ignition, such as oily rags,

shall be stored in a listed disposal container. (IFC 3304.2)

RESULT: Plan Review

ITEM: VEHICLE ACCESS Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Fire apparatus access roads shall be installed and arranged in accordance with sections 503.2.1 through 503.2.8. Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except where approved alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection where construction of new roadways allow passage by vehicles in accordance with section 505.2 (IFC 501.4, 503.1.1, 503.4)

RESULT: Plan Review

ITEM: MAINTENANCE OF MEANS OF EGRESS Required means of egress shall be maintained during construction and demolition, remodeling or alterations and additions to any building. (IFC 3311.2)

RESULT: Plan Review

ITEM: ADDRESS IDENTIFICATION New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address number shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall not be less than 4 inches high with a minimum stroke width of 1/2 inch. Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole, or other sign or means shall be used to identify the structure. Address identification shall be maintained. (IFC 505.1)

RESULT: Plan Review

ITEM: TEMPORARY ADDRESS NUMBERS DURING CONSTRUCTION Install supplementary Arabic address numerals on a post or mailbox on the same side of the public road as, and directly in front of, the building in such a manner as to be readily visible to occupants of fire department vehicles on the public road.

RESULT: Plan Review

ITEM: WATER SUPPLY FOR FIRE PROTECTION An approved water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible building materials arrive on site, on commencement of vertical combustible construction and on installation of a standpipe system in

buildings under construction, in accordance with Sections 3307.2.1 through 3307.4. When combustible building materials of the building under construction are delivered to a site, a minimum fire flow of 500 gallons per minutes shall be provided. The fire hydrant used to provide this fire-flow supply shall be within 500 feet of the combustible building materials, as measured along an approved fire apparatus access lane. Where the site configuration is such that one fire hydrant cannot be located within 500 feet of all combustible building materials, additional fire hydrants shall be required to provide coverage in accordance with this section (IFC 3307.2.1)

RESULT: Plan Review

ITEM: GAS METERS Above-ground gas meters, regulators and piping subject to damage shall be protected by a barrier complying with section 312 or otherwise protected in an approved manner (IFC 605.8)

RESULT: Plan Review

ITEM: MARKING Where required by the fire code official, approved signs or other approved notices or markings that include the words "NO PARKING-FIRE LANE" shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which the fire lanes are designated shall be maintained in a clean and legible condition at all times and be repaired when necessary to provide adequate visibility.

RESULT: Plan Review

Fire Protections Systems:

ITEM: FIRE PROTECTION CONSTRUCTION DOCUMENTS The fire code official shall have the authority to require construction documents and calculations for all fire protection and life safety systems and to require permits be issued for the installation, rehabilitation or modification of any fire protection and life safety systems. Construction documents for fire protection and life safety systems shall be submitted for review and approval prior to system installation. (IFC 901.2) Construction documents for fire alarm systems shall be of sufficient clarity to indicate the location, nature and extent of the work proposed and show in detail that it will conform to the provisions of this code; the International Building Code; and relevant laws, ordinances, rules and regulations, as determined by the fire code official. Shop drawings for fire alarm systems shall be prepared in accordance with NFPA 72 and submitted for review and approval prior to system installation (IFC 907.1.1, 907.1.2)

RESULT: Plan Review

ITEM: ADMINISTRATION OF INSTALLATION ACCEPTANCE TESTING Fire protection and life safety systems and appurtenances thereto shall be subject to acceptance tests as contained in the installation standards and as approved by the fire code official. The fire code official shall be notified before any required acceptance testing (IFC 901.5).

RESULT: Plan Review

ITEM: SPRINKLER PLANS Before any sprinkler work is begun, plans must be approved by the Gaines Township Fire Department and plans shall comply with Section 903 of the IFC and NFPA 13 (and/or 13D, 13R)

RESULT: Plan Review

ITEM: LOCATION OF FIRE DEPARTMENT CONNECTIONS With respect to hydrants, driveways, buildings and landscaping, fire department connections shall be so located that fire apparatus and hose connected to supply the system will not obstruct access to the buildings for other fire apparatus. The location of the fire department connections shall be approved by the fire code official. (IFC 912.2)

RESULT: Plan Review

ITEM: VISIBLE LOCATION OF FIRE DEPARTMENT CONNECTIONS Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the fire code official. (IFC 912.2.1)

RESULT: Plan Review

ITEM: PORTABLE FIRE EXTINGUISHERS Shall be installed in the following locations: (1) In new and existing Group A, B, E, F, H, I, M, R-1, R-2, R-4 and S occupancies. (2) Within 30 feet of commercial cooking equipment. (3) In areas where flammable or combustible liquids are stored, used or dispensed. (4) On each floor of structure under construction, except Group R-3 occupancies, in accordance with Section 3315.1 (IFC) (5) Where required by the sections indicated in Table 906.1 (IFC). (6) Special-hazard areas, including but not limited to laboratories, computer rooms and generator rooms, where required by the fire code official. (IFC 906.1). Portable fire extinguishers shall be selected, installed and maintained in accordance with this section and NFPA 10 (IFC 906.2).

RESULT: Plan Review

ITEM: FDC STYLE Fitting shall be a 2-1/2 inch Siamese on the building (not remote) unless otherwise specified.

RESULT: Plan Review

ITEM: CLEAN AGENT SYSTEMS Clean-agent fire-extinguishing systems shall be installed, maintained, periodically inspected and tested in accordance with NFPA 2001 and their listing. Records of inspections and testing shall be maintained. (IFC 904.10)

RESULT: Plan Review

ITEM: FIRE ALARM AND DETECTION SYSTEMS This section covers the application, installation, performance and maintenance of fire alarm systems and their components in new and existing buildings and structures. The requirements of Section 907.2 (IFC) are applicable to new buildings and structures.

The requirements of Section 907.9 (IFC) are applicable to existing buildings and structures (IFC 907.1). Construction documents for fire alarm systems shall be of sufficient clarity to indicate the location, nature and extent of the work proposed and show in detail that it will conform to the provisions of this code, the International Building Code and relevant laws, ordinances, rules and regulations, as determined by the fire code official (IFC 907.1.1). Fire alarms systems shall comply with Section 907 of the IFC and NFPA 72.

RESULT: Plan Review

ITEM: OCCUPANT NOTIFICATION SYSTEMS A fire alarm system shall annunciate at the fire alarm control unit and shall initiate occupant notification upon activation, in accordance with Sections 907.5.1 through 907.5.2.3.3. Where a fire alarm system is required by another section of the code, it shall be activated by: 1. Automatic fire detectors. 2. Automatic sprinkler system waterflow devices. 3. Manual fire alarm boxes. 4. Automatic fire-extinguishing systems. (Exception: Where notification systems are allowed elsewhere in Section 907 to annunciate at a constantly attended location)(IFC 907.5)

RESULT: Plan Review

ITEM: CARBON MONOXIDE DETECTION Install carbon monoxide detection in accordance with IFC Chapter 915.

RESULT: Plan Review

ITEM: SPRINKLER HYDROSTATIC TEST Hydrostatic test must be witnessed by the Gaines Township Fire Department. (NFPA 13)

RESULT: Plan Review

ITEM: OCCUPANCY AFTER REQUIRED TESTS It shall be unlawful to occupy any portion of a building or structure until the required fire detection, alarm and suppression systems have been tested and approved. (IFC 901.5.1)

RESULT: Plan Review

Fire Protection and Utility Equipment Identification and Access:

ITEM: KNOX BOX/UPDATED KEYS FOR KNOX BOX Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of approved type listed in accordance with UL 1037, and shall contain keys to gain necessary access as required by the fire code official (IFC 506.1) Provide updated keys at completion of project.

RESULT: Plan Review

ITEM: FIRE PROTECTION AND UTILITY EQUIPMENT IDENTIFICATION AND ACCESS Fire protection equipment shall be identified in an approved manner. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location shall be constructed of durable materials, permanently installed and readily visible. (IFC 509.1)

RESULT: Plan Review

Penetrations:

ITEM: FIRE-RESISTANCE RATED WALLS Penetrations into or through fire walls, fire barriers, smoke barrier walls and fire partitions shall comply with Sections 714.4.1 through 714.4.3. Penetrations in smoke barrier walls shall also comply with Section 714.5.4 of the Michigan Building Code. (MBC 714.4)

RESULT: Plan Review

Electrical Equipment, Wiring and Hazards:

ITEM: ELECTRICAL LABELING Doors into electrical control panel rooms shall be marked with a plainly visible and legible sign stating ELECTRICAL ROOM or similar approved wording. The disconnecting means for each service, feeder or branch circuit originating on a switchboard or panel-board shall be legibly and durably marked to indicate its purpose unless such purpose is clearly evident. (IFC 605.3.1)

RESULT: Plan Review

Means of Egress:

ITEM: MEANS OF EGRESS ILLUMINATION Illumination shall be provided in the means of egress in accordance with Section 1008.2. Under emergency power, means of egress illumination shall comply with Section 1008.3 (IFC).

RESULT: Plan Review

ITEM: EMERGENCY POWER FOR ILLUMINATION The emergency power system shall provide power for a duration of not less than 90 minutes and shall consist of storage batteries, unit equipment or an on-site generator. The installation of the emergency power system shall be in accordance with Section 604 (IFC)

RESULT: Plan Review

ITEM: DOOR SWING Egress doors shall be of the pivoted or side-hinged swinging type and shall swing in the direction of egress travel where serving a room or area containing an occupant load of 50 or more persons or a Group H occupancy. (IFC 1010.1.2, 1010.1.2.1)

RESULT: Plan Review

ITEM: DOOR OPERATIONS HARDWARE Door handles, pulls, latches, locks and other operating devices on doors required to be accessible by Chapter 11 of the International Building Code shall not require tight grasping, tight pinching or twisting of the wrist to operate. (1010.1.9.1 IFC)

RESULT: Plan Review

ITEM: PANIC AND FIRE EXIT HARDWARE Doors serving a Group H occupancy and doors serving rooms or spaces with an occupant load of 50 or more in a Group A or B occupancy shall not be provided with a latch or lock unless it is panic hardware or fire exit hardware. Exceptions: 1. A main exit of a Group A occupancy shall be permitted to be locking in accordance with Section 1010.1.9.3, Item 2. 2. Doors serving a Group A or E occupancy shall be permitted to be electromagnetically locked in accordance with Section 1010.1.9.9. Electrical rooms with equipment rated 1,200 amperes or more and over 6 feet wide that contain over-current devices, switching devices or control devices with exit or exit access doors shall be equipped with panic hardware or fire exit hardware. The doors shall swing the direction of egress travel. (IFC 1010.1.10)

RESULT: Plan Review

ITEM: DIRECTIONAL SIGNAGE Directional signage indicating the location of all other means of egress and which are accessible means of egress shall be provided at the following: 1. At exits serving a required accessible space but not providing an approved accessible means of egress. 2. At elevator landings. 3. Within areas of refuge. (IFC 1009.10)

RESULT: Plan Review

ITEM: EXIT SIGNS REQUIRED Exits and exit access doors shall be marked by an approved exit sign readily visible from any direction of egress travel. The path of egress travel to exits and within exits shall be marked by readily visible exit signs to clearly indicate the direction of egress travel in cases where the exit or the path of egress travel is not immediately visible to the occupants. Intervening means of egress doors within exits shall be marked by exit signs. Exit sign placement shall be such that no point in an exit access corridor or exit passageway is more than 100 feet or the listed viewing distance for the sign, whichever is less, from the nearest visible exit sign. (IFC 1013.1)

RESULT: Plan Review

ITEM: SECURITY DEVICES AND EGRESS LOCKS Security devices affecting means of egress shall be subject to approval of the fire code official. Security devices and locking arrangements in the means of egress that restrict, control, or delay egress shall be installed and maintained. (IFC 1031.2.1)

RESULT: Plan Review

ITEM: NON EXIT IDENTIFICATION Where a door is adjacent to, constructed similar to and can be confused with a means of egress door, that door shall be identified with an approved sign that identifies the room name or use of the room. (IFC 1031.5)

RESULT: Plan Review

Closing:

ITEM: SUBJECT TO FIELD INSPECTION There may be additional requirements as a result of conditions found during inspections.

RESULT: Plan Review

ITEM: OCCUPANCY PROHIBITED BEFORE APPROVAL The building or structure shall not be occupied prior to inspection and approval by the fire code official and issuance of a certificate of occupancy. (IFC 105.3.3) Stock and supplies shall not be moved in without approval of the fire department. Call the Gaines Township Fire Department 616-893-2906 at least 24 hours in advance to schedule inspections.

RESULT: Plan Review

Plans Approved or Denied:

ITEM: PLAN APPROVAL Any changes must be reviewed and approved by the Gaines Township Fire Department. All construction and processes must meet applicable codes and standards.

RESULT: Approved

Inspection Signatures

Inspector Signature



24-53 - Pat Quick
Fire Marshal
Deputy Chief

--

pat.quick@gainestownship.org



Gaines Charter Township Fire Department Inspection Report

Plan Review-Site Plan Inspection Result

Inspection Status

Completed

Inspected by

24-53 - Pat Quick

Completed at

04/29/2026

Business Name	Address	Suite	City	Zip
MSU Financial Credit Union	1651 Marketplace Dr SE	--	Grand Rapids	49508

Introduction:

ITEM: REVIEW REQUIREMENTS We have reviewed your plans for the above facility. The following items are noted for compliance with code requirements. Code references to the International Fire Code 2024, as amended, are noted IFC; references to the Michigan/International Building Code are noted MBC; references to National Fire Protection Association codes and standards are noted NFPA. Please review the appropriate code for further details. All construction and processes must meet applicable code provisions.

RESULT: Plan Review

REMARK:

New Credit Union to be built on existing restaurant site with old building being demolished.

General Construction and Demolition:

ITEM: VEHICLE ACCESS Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Fire apparatus access roads shall be installed and arranged in accordance with sections 503.2.1 through 503.2.8. Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except where approved alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection where construction of new roadways allow passage by vehicles in accordance with section 505.2 (IFC 501.4, 503.1.1, 503.4)

RESULT: Plan Review

ITEM: WATER SUPPLY FOR FIRE PROTECTION An approved water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible materials arrive on site, on commencement of vertical combustible construction and on installation of a standpipe system in buildings under construction in accordance with Sections 3307.2.1 through 3307.4 (IFC 3307.2)

RESULT: Plan Review

ITEM: TRAFFIC CALMING DEVICES PROHIBITED Traffic calming devices shall be prohibited unless approved by the fire code official (IFC 503.4.1)

RESULT: Plan Review

Fire Protections Systems:

ITEM: LOCATION OF FIRE DEPARTMENT CONNECTIONS With respect to hydrants, driveways, buildings and landscaping, fire department connections shall be so located that fire apparatus and hose connected to supply the system will not obstruct access to the buildings for other fire apparatus. The location of the fire department connections shall be approved by the fire code official. (IFC 912.2)

RESULT: Plan Review

ITEM: VISIBLE LOCATION OF FIRE DEPARTMENT CONNECTIONS Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the fire code official. (IFC 912.2.1)

RESULT: Plan Review

Closing:

ITEM: SUBJECT TO FIELD INSPECTION There may be additional requirements as a result of conditions found during inspections. Call the Gaines Township Fire Department at 616-893-2906 at least 24 hours in advance to schedule inspections.

RESULT: Plan Review

Plans Approved or Denied:

ITEM: PLAN APPROVAL Any changes must be reviewed and approved by the Gaines Township Fire Department. All construction and processes must meet applicable codes and standards.

RESULT: Approved

Inspection Signatures

Inspector Signature

A handwritten signature in black ink, appearing to read 'Pat Quick', written in a cursive style.

24-53 - Pat Quick
Fire Marshal
Deputy Chief

--

pat.quick@gainestownship.org

BENCHMARKS - NAVD88
ELEVATION = 703.24
RAILROAD SPIKE IN NW SIDE OF UTILITY POLE, LOCATED 27'± SOUTH OF THE C/L OF 76TH STREET & 50'± EAST OF C/L OF DRIVE TO HOUSE #455 76TH STREET.

CONTROL POINTS - MI SOUTH SPCS NAD83

CP#50	CP#51	CP#52
M+B RED CAP	M+B RED CAP	702.46
N 49335.0561	N 49331.8677	N 50026.7945
E 50455.5391	E 50358.3217	E 50466.2208
ELEV 707.54	ELEV 707.20	ELEV 702.46

CP#53	CP#58
M+B RED CAP	M+B RED CAP
N 49974.6514	N 49741.7204
E 50144.1811	E 50323.6117
ELEV 700.75	ELEV 701.90

EXISTING UNDERGROUND UTILITY DATA

SANITARY MH#1 RIM 702.20 8" PVC INV S 691.50 8" PVC INV W 691.40 8" PVC INV E 691.30 2" DIA RIM 4" DIA PRECAST STRUCTURE	STORM CB#13 RIM 703.27 12" CONC INV N 699.77 WATER LEVEL 699.77 DEBRIS 697.97 2" SQUARE RIM 4" DIA PRECAST STRUCTURE
SANITARY MH#5 RIM 700.80 8" PVC INV N 690.30 8" PVC INV E 690.10 8" PVC INV W 690.10 2" DIA RIM 4" DIA PRECAST STRUCTURE	SANITARY MH#4 RIM 705.76 8" PVC INV E 692.61 (AS-BUILT) 8" PVC INV W 692.57 (AS-BUILT) 2" DIA RIM 4" DIA PRECAST STRUCTURE
SANITARY MH#7 RIM 700.04 8" PVC INV SW 689.54 8" PVC INV E 689.44 2" DIA RIM 4" DIA PRECAST STRUCTURE	STORM MH#15 RIM 711.60 12" CONC INV N 706.30 12" CONC INV S 706.30 12" CONC INV E 705.30 (AS-BUILT) 12" CONC INV W 705.30 2" DIA RIM 4" DIA PRECAST STRUCTURE
STORM MH#11 RIM 703.92 2" DIA RIM UNABLE TO OPEN RIM PARTIALLY PAVED OVER	SANITARY MH#16 RIM 713.03 8" PVC INV E 701.64 (AS-BUILT) 8" PVC INV S 694.02 (AS-BUILT) 8" PVC INV SW 693.54 (AS-BUILT) 8" PVC INV W 693.48 (AS-BUILT) 2" DIA RIM 4" DIA PRECAST STRUCTURE
STORM CB#12 RIM 703.25 12" CONC INV E 700.05 12" CONC INV S 700.05 WATER LEVEL 699.95 DEBRIS 698.50 2" SQUARE RIM 4" DIA RIM	

41-22-18-126-003
BROOKSHIRE MEADOWS EAST
240 76TH ST SE
MULTI FAMILY
RESIDENTIAL

41-22-18-126-003
BROOKSHIRE MEADOWS EAST
240 76TH ST SE
MULTI FAMILY
RESIDENTIAL

41-22-18-202-017
ARDEN & DEBORAH POSTMA
7716 JONAGOLD DR SE
P.U.D.

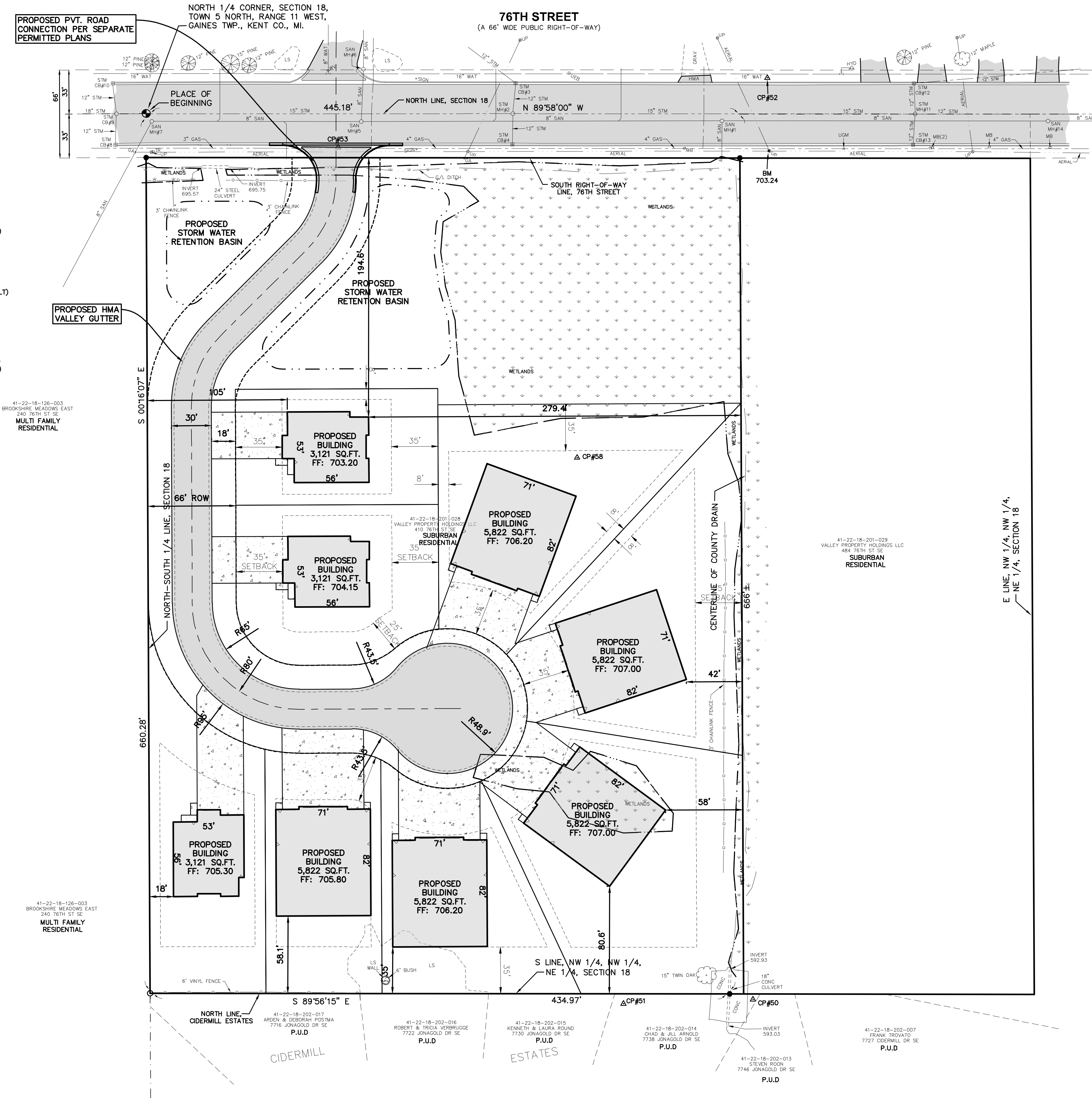
41-22-18-202-016
ROBERT & TRICIA VERBURGUE
7722 JONAGOLD DR SE
P.U.D.

41-22-18-202-015
KENNETH & LAURA ROUND
7730 JONAGOLD DR SE
P.U.D.

41-22-18-202-014
OHAD & JILL ARNOLD
7738 JONAGOLD DR SE
P.U.D.

41-22-18-202-007
FRANK TROVATO
7727 CIDERMILL DR SE
P.U.D.

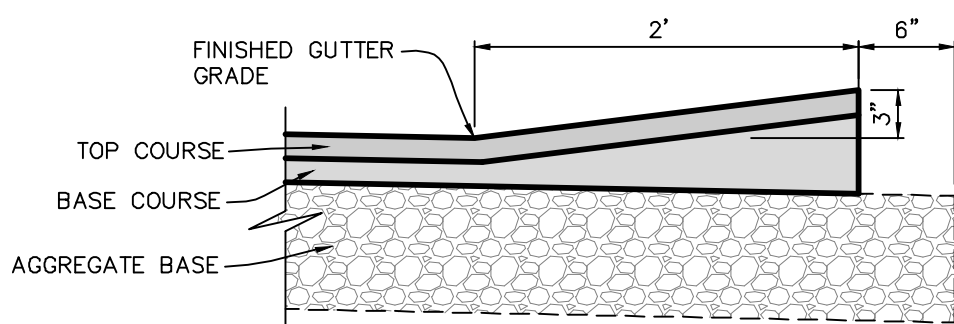
41-22-18-202-013
STEVEN ROON
7746 JONAGOLD DR SE
P.U.D.



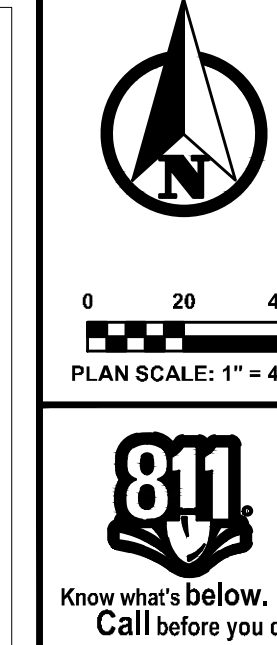
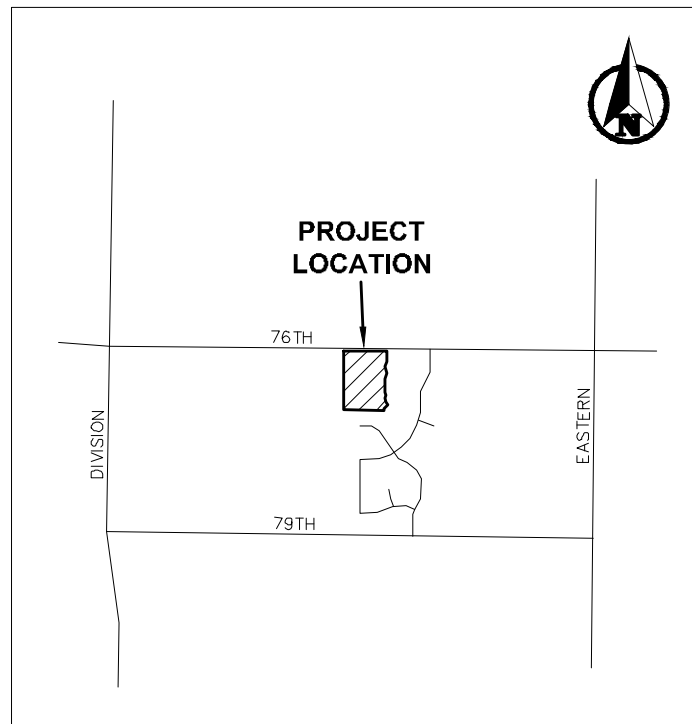
SITE PLAN GENERAL NOTES:

- THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURETY AS PART OF THIS WORK.
- THE CONTRACTOR SHALL CALL MISS DIG 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL FURNISH AND PLACE THE DRIVE APPROACH WITHIN THE PUBLIC RIGHT OF WAY IN ACCORDANCE WITH STANDARD CONSTRUCTION SPECIFICATIONS.
- ALL STORM SEWER PIPE SHALL BE ADS N-12 PLASTIC PIPE UNLESS OTHERWISE SPECIFIED.
- ALL CATCH BASINS AND MANHOLES SHALL BE MINIMUM 4' DIAMETER PRECAST CONCRETE, UNLESS NOTED OTHERWISE.
- UNLESS OTHERWISE SPECIFIED, REINFORCED CONCRETE AREAS SHALL BE CONSTRUCTED WITH:
8" MDOT CL-2 SAND SUBBASE (C.I.P.)
8" MDOT GRADE P1 OR S2, 3,500 PSI, 28-DAY, 5-7% AIR ENTRAINED, BROOM FINISH
2 LAYERS, 6X6/6X6 WOVEN WIRE FABRIC.
- THE PAVED AREAS SUBJECT TO TRUCK TRAFFIC SHALL BE CONSTRUCTED WITH:
12" MDOT CL-2 SAND SUBBASE (C.I.P.)
8" 21AA GRAVEL BASE (C.I.P.)
2"-3EL HMA LEVELING COURSE
2"-SEML HMA WEARING COURSE
- ALL OTHER PAVED AREAS SHALL BE CONSTRUCTED WITH:
12" MDOT CL-2 SAND SUBBASE (C.I.P.)
6" 21AA GRAVEL BASE (C.I.P.)
1 1/2" 3EL HMA LEVELING COURSE
1 1/2" SEL HMA WEARING COURSE
- THE CONTRACTOR SHALL BED AND BACKFILL ALL UNDERGROUND PIPING WITH MDOT CL-2 SAND TO A MINIMUM OF 95% MAXIMUM DRY DENSITY PER ASTM- 1557.
- THIS SITE PLAN SHALL NOT BE USED TO STAKE THE LOCATION OF PROPOSED BUILDING COLUMN LINES. THE SURVEYORS ARE TO USE THE BUILDING FOUNDATION PLANS.
- THE CONTRACTOR SHALL PLACE AND COMPACT FILL UNDER THE PROPOSED BUILDING AREA TO A MINIMUM OF 95% MAXIMUM DRY DENSITY PER ASTM-1557. ALL OTHER AREAS SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DRY DENSITY.
- THE CONTRACTOR SHALL PIPE ALL BUILDING ROOF WATER TO THE STORM WATER MANAGEMENT SYSTEM AS SHOWN AND SPECIFIED.
- THE CONTRACTOR SHALL REQUEST CONSTRUCTION STAKING BY EMAIL USING THE MOORE & BRUGGINK, INC. CONTRACTORS CONSTRUCTION STAKING REQUEST FORM. ONLY COMPLETED REQUESTS WILL BE SCHEDULED. NOTE THE PROJECT OWNER WILL PAY THE SURVEYOR TO PLACE STAKES ONLY ONCE. ALL LOST AND DAMAGED STAKES ARE THE CONTRACTORS RESPONSIBILITY.

ZONING: SUBURBAN RESIDENTIAL DISTRICT
SETBACK REQUIREMENTS:
FRONT: 35'
REAR: 35'
STREET SIDE: 25'
SIDE: 8'



24" BITUMINOUS VALLEY GUTTER DETAIL
SCALE: 1"=1'



PLAN REVISIONS

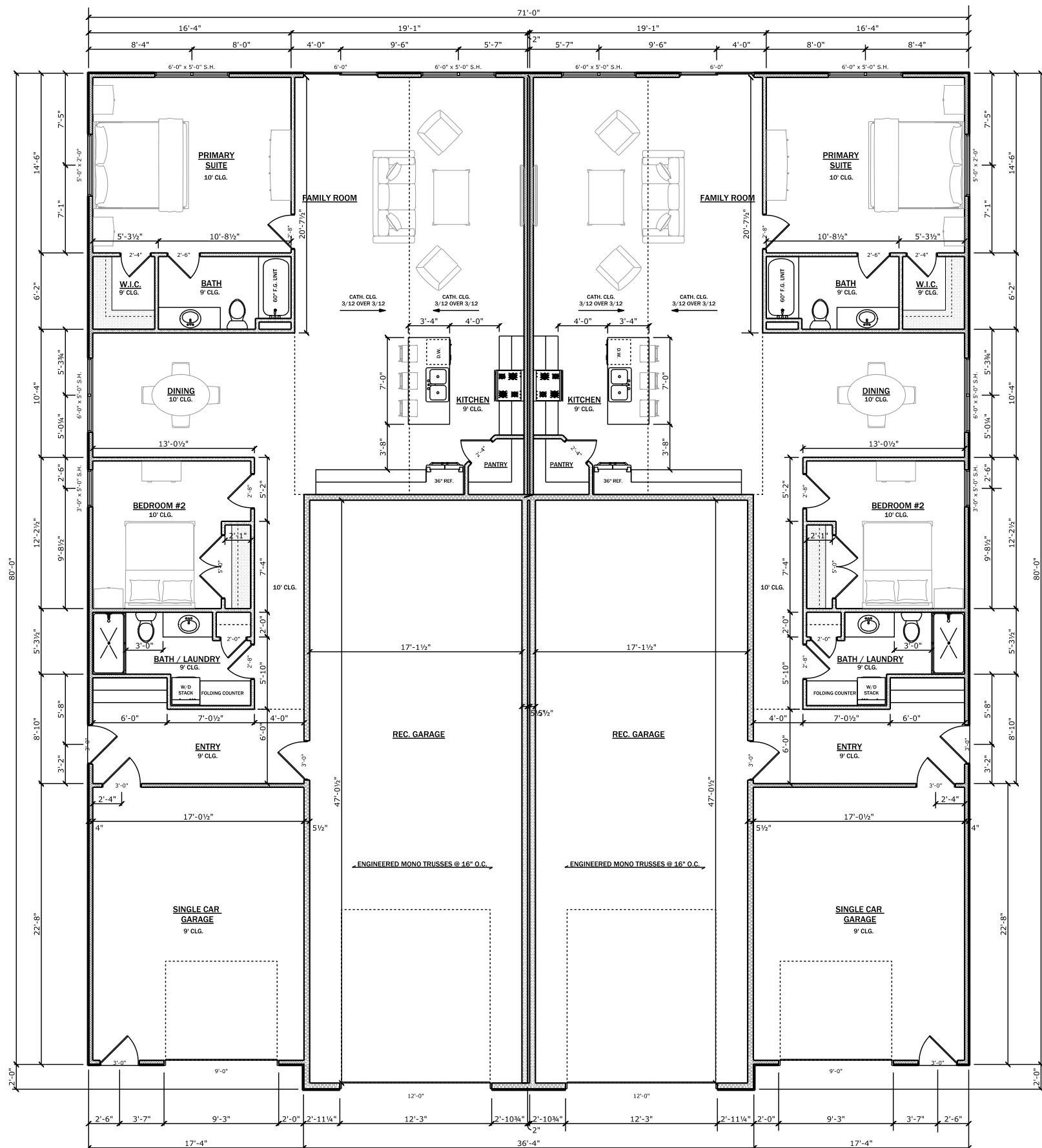
Moore+Bruggink
Consulting Engineers
2020 Monroe Ave.
Grand Rapids, MI 49505
(616) 363-9801
mailto:info@mbce.com

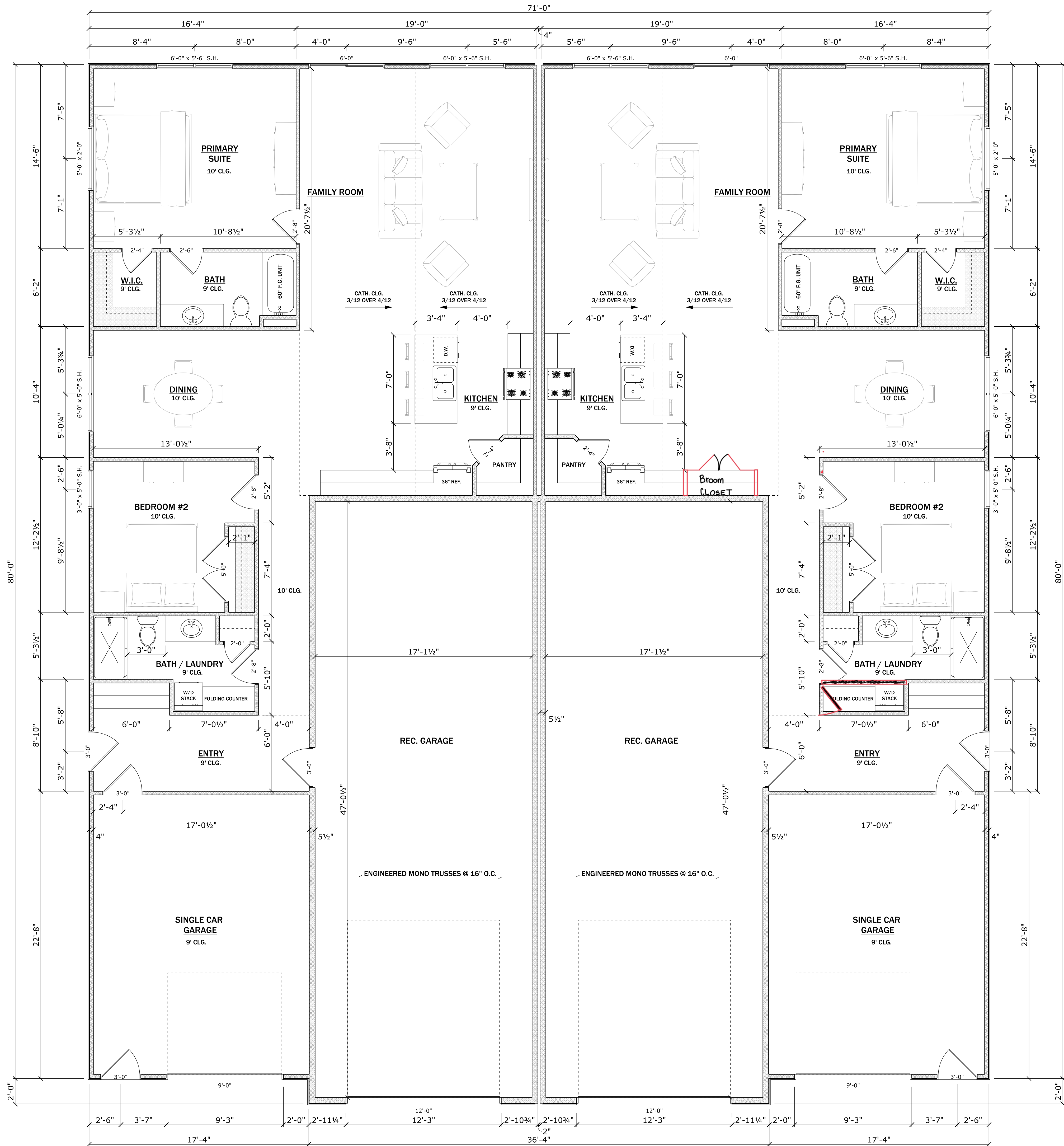
SITE PLAN FOR
410 76TH STREET
GAINES TWP., KENT COUNTY, MICHIGAN

FIELD SURVEY / DATE
M+B
PROJECT NO.: 250202.01
DESIGN DRAWN BY: ESA/DIB
DESIGNED BY: JFL
CHECKED BY: JFL
PLAN DATE: 11-26-2025

SHEET NUMBER
2 OF 4

PREPARED FOR:
JAC DEVELOPMENT, INC
3714 28TH ST
GRANDVILLE, MI 49418





BUILDER:



PROJECT:

ADDRESS:
410 76th St.
BYRON CENTER, MI.

NOTES:

ISSUE DESCRIPTION					
REVIEW					
NO.	DATE:	1	5-19-25		
WHILE GREAT CARE AND EFFORT HAS BEEN TAKEN IN THE DESIGNING, DETAILING, AND CHECKING FOR ERRORS OF THIS PLAN, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. OWNER, CONTRACTOR, AND SUB-CONTRACTOR ARE RESPONSIBLE TO VERIFY ALL DIMENSIONS, MATERIALS OF CONSTRUCTION, AND COMPLIANCE WITH GOVERNING STATE AND LOCAL BUILDING CODES BEFORE BEGINNING CONSTRUCTION.					
SCALE: 1/4" = 1'					
SHEET #3					

BUILDER:



PROJECT:

ADDRESS:

BYRON CENTER, MI.

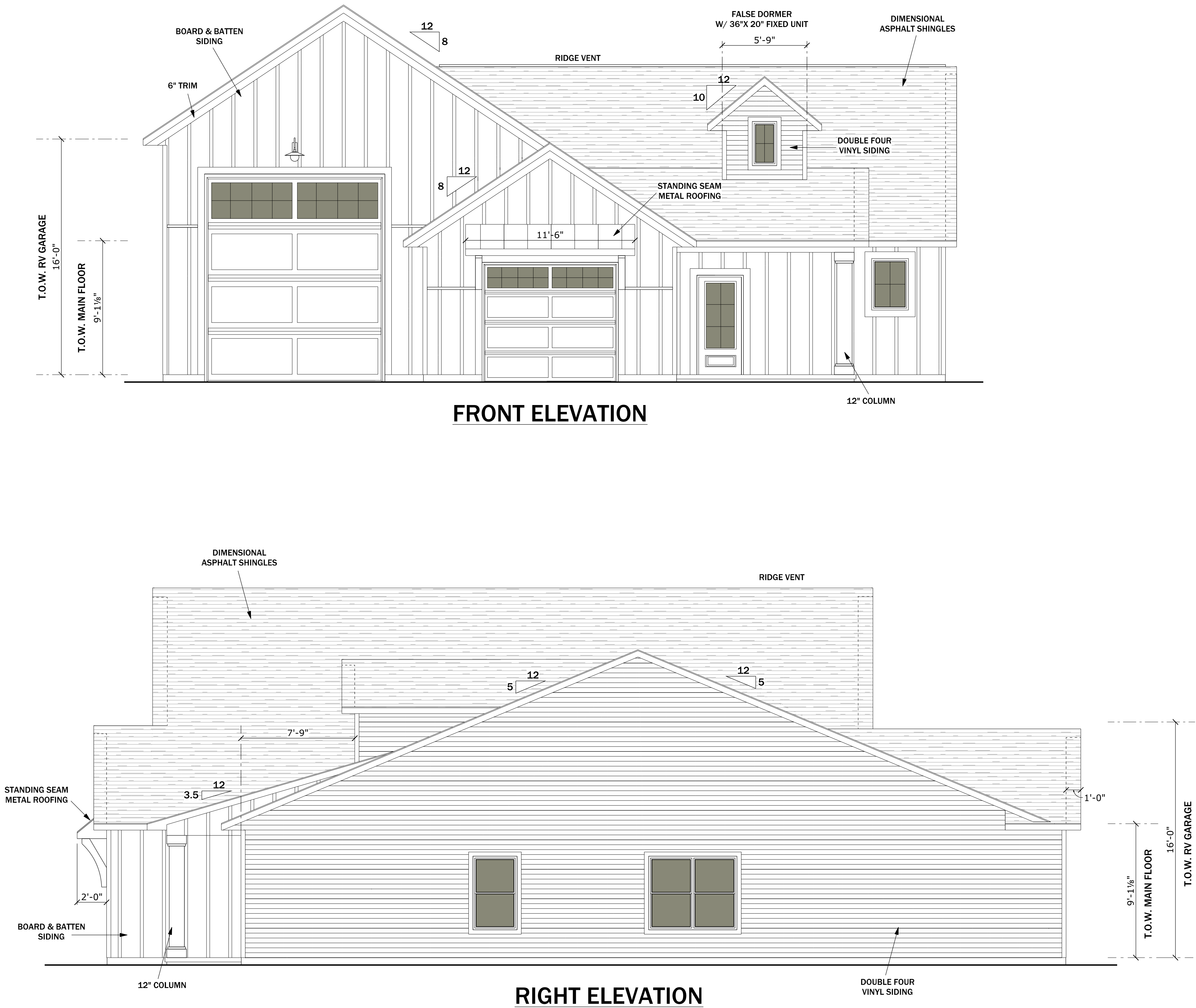
NOTES:

NO.	DATE:	ISSUE DESCRIPTION
1	4-7-25	REVIEW

WHILE GREAT CARE AND EFFORT HAS BEEN TAKEN IN THE DESIGNING, DETAILING, AND CHECKING FOR ERRORS OF THIS PLAN, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. OWNER, CONTRACTOR, AND SUB-CONTRACTOR ARE RESPONSIBLE TO VERIFY ALL DIMENSIONS, MATERIALS OF CONSTRUCTION, AND COMPLIANCE WITH GOVERNING STATE AND LOCAL BUILDING CODES BEFORE BEGINNING CONSTRUCTION.

SCALE: 1/4" = 1'

SHEET #1



BUILDER:

JAG

DEVELOPMENT

PROJECT:

ADDRESS:

BYRON CENTER, MI.

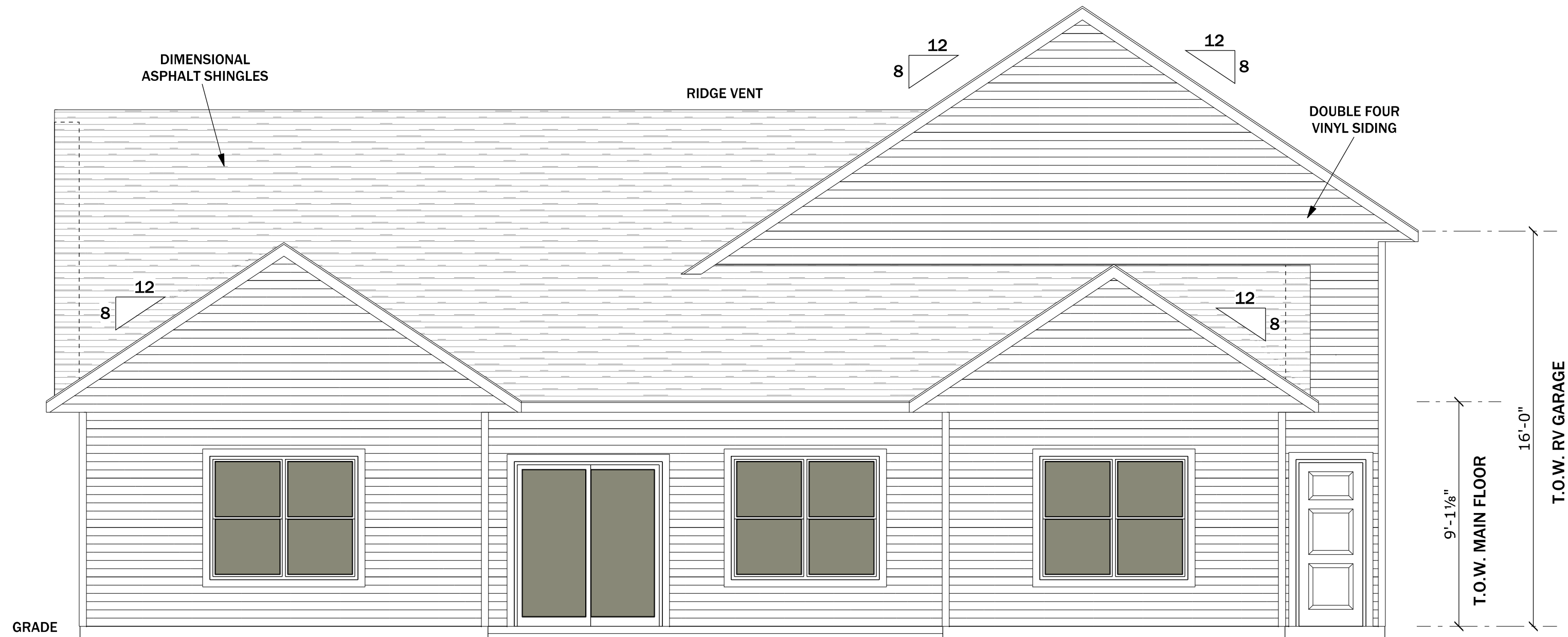
NOTES:

ISSUE DESCRIPTION					
DATE:	4-7-25				
NO.	1				

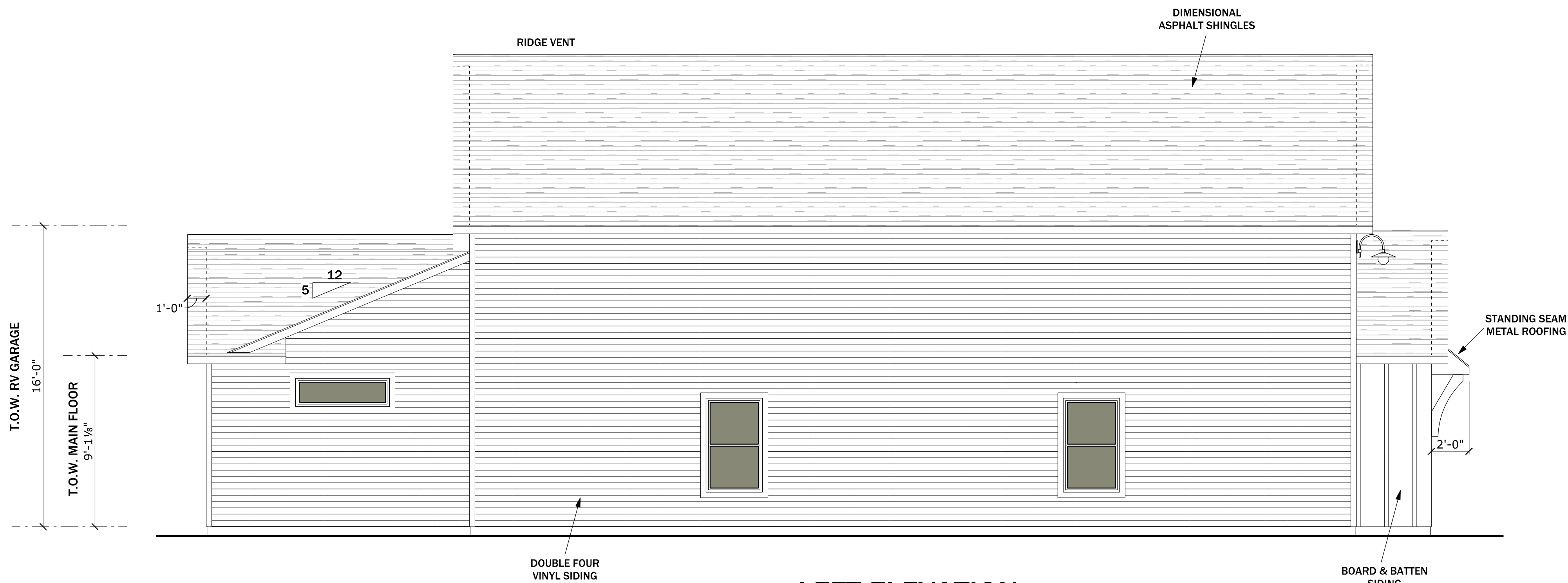
WHILE GREAT CARE AND EFFORT HAS BEEN TAKEN IN THE DESIGNING, DETAILING, AND CHECKING FOR ERRORS OF THIS PLAN, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. OWNER, CONTRACTOR, AND SUB-CONTRACTOR ARE RESPONSIBLE TO VERIFY ALL DIMENSIONS, MATERIALS OF CONSTRUCTION, AND COMPLIANCE WITH GOVERNING STATE AND LOCAL BUILDING CODES BEFORE BEGINNING CONSTRUCTION.

SCALE: 1/4" = 1'

SHEET #2



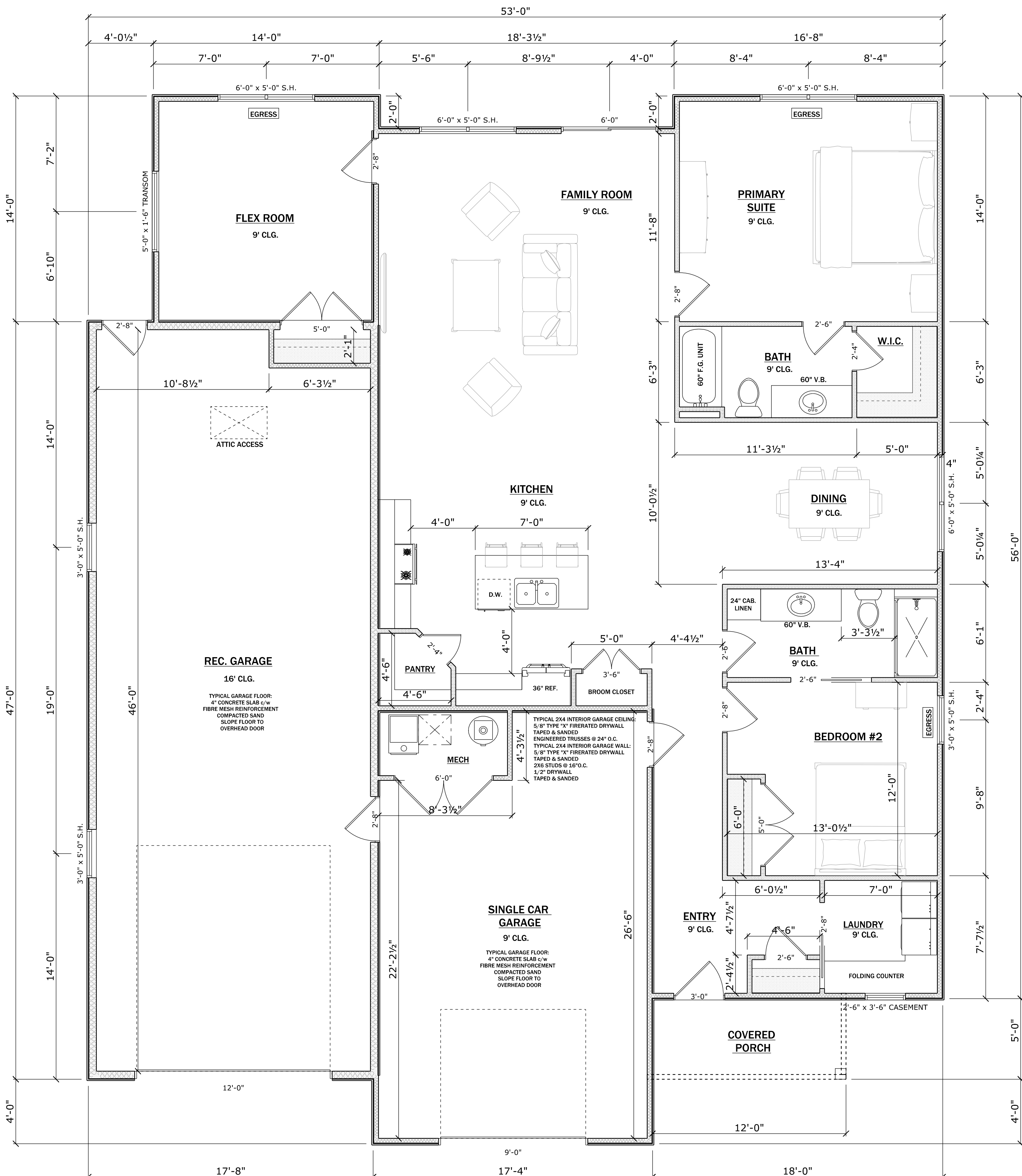
REAR ELEVATION



LEFT ELEVATION

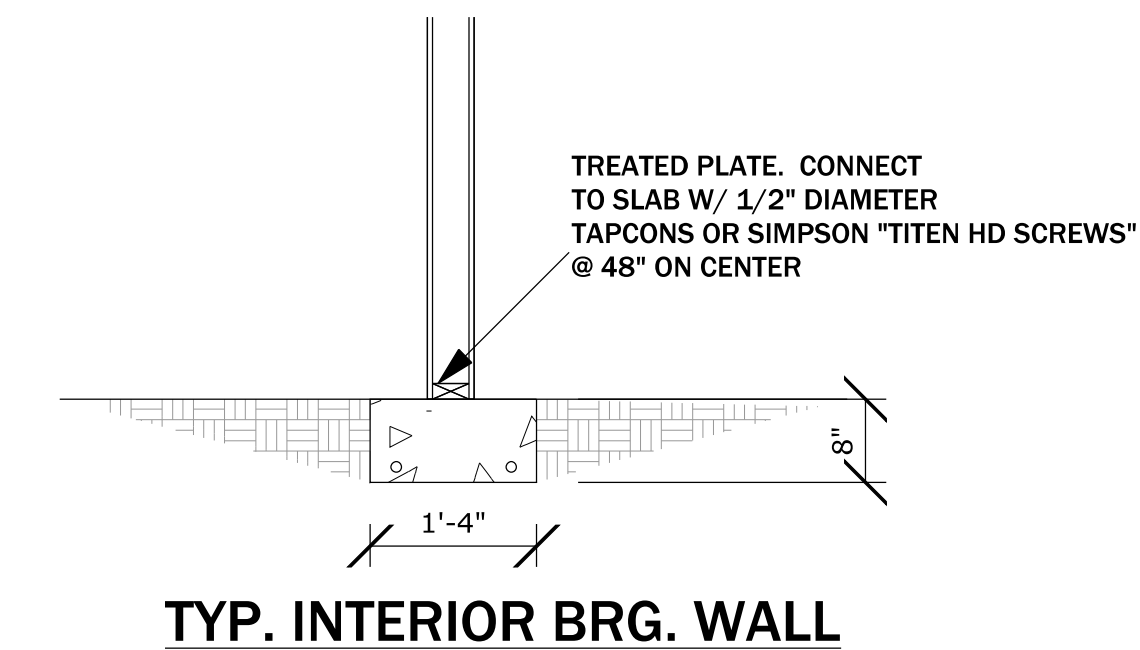
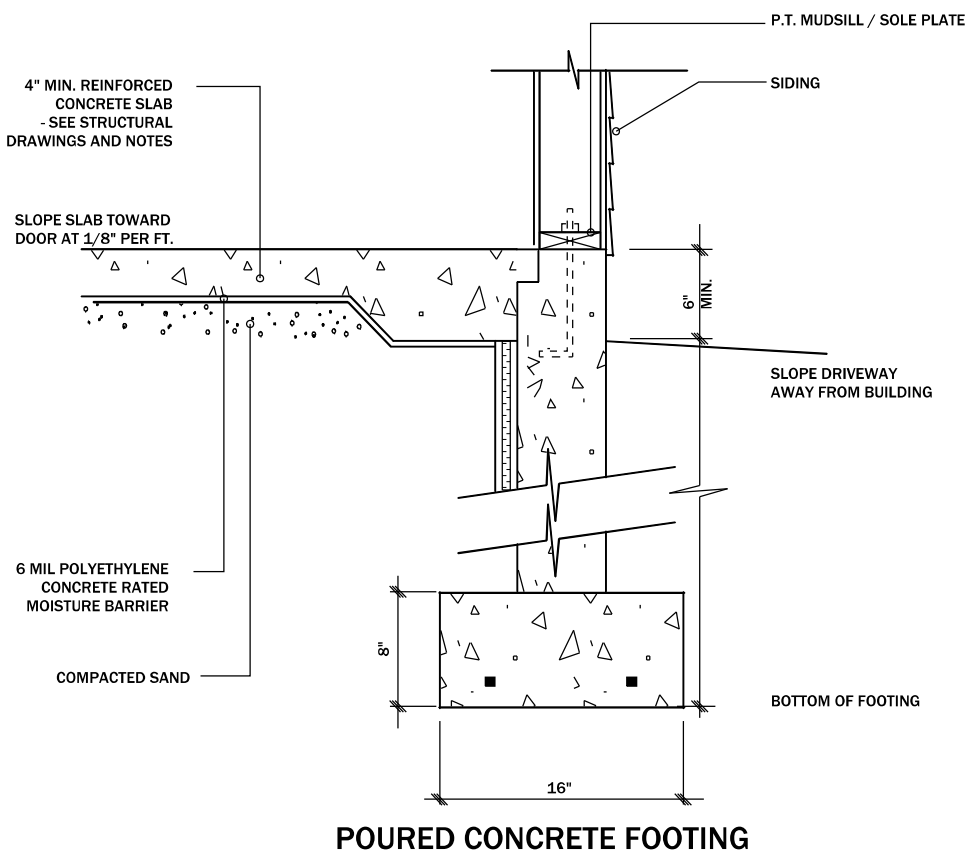
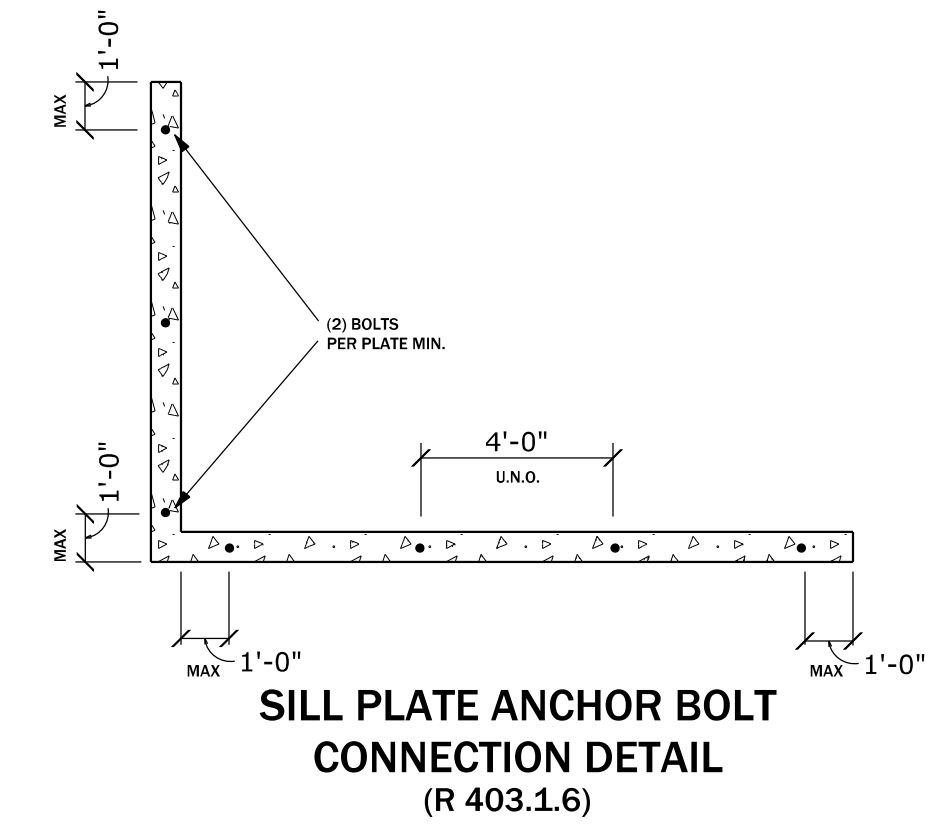
ISSUE DESCRIPTION						
NO.	DATE:	REVIEW				
1	4-7-25					

WHILE GREAT CARE AND EFFORT HAS BEEN TAKEN IN THE DESIGNING, DETAILING, AND CHECKING FOR ERRORS OF THIS PLAN, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. OWNER, CONTRACTOR, AND SUB-CONTRACTOR ARE RESPONSIBLE TO VERIFY ALL DIMENSIONS, MATERIALS OF CONSTRUCTION, AND COMPLIANCE WITH GOVERNING STATE AND LOCAL BUILDING CODES BEFORE BEGINNING CONSTRUCTION.



NO.	DATE:	ISSUE DESCRIPTION			
		1	2	3	4
1	4-7-25	REVIEW			

WHILE GREAT CARE AND EFFORT HAS BEEN TAKEN IN THE DESIGNING, DETAILING, AND CHECKING FOR ERRORS OF THIS PLAN, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. OWNER, CONTRACTOR, AND SUB-CONTRACTOR ARE RESPONSIBLE TO VERIFY ALL DIMENSIONS, MATERIALS OF CONSTRUCTION, AND COMPLIANCE WITH GOVERNING STATE AND LOCAL BUILDING CODES BEFORE BEGINNING CONSTRUCTION.



GENERAL NOTES:

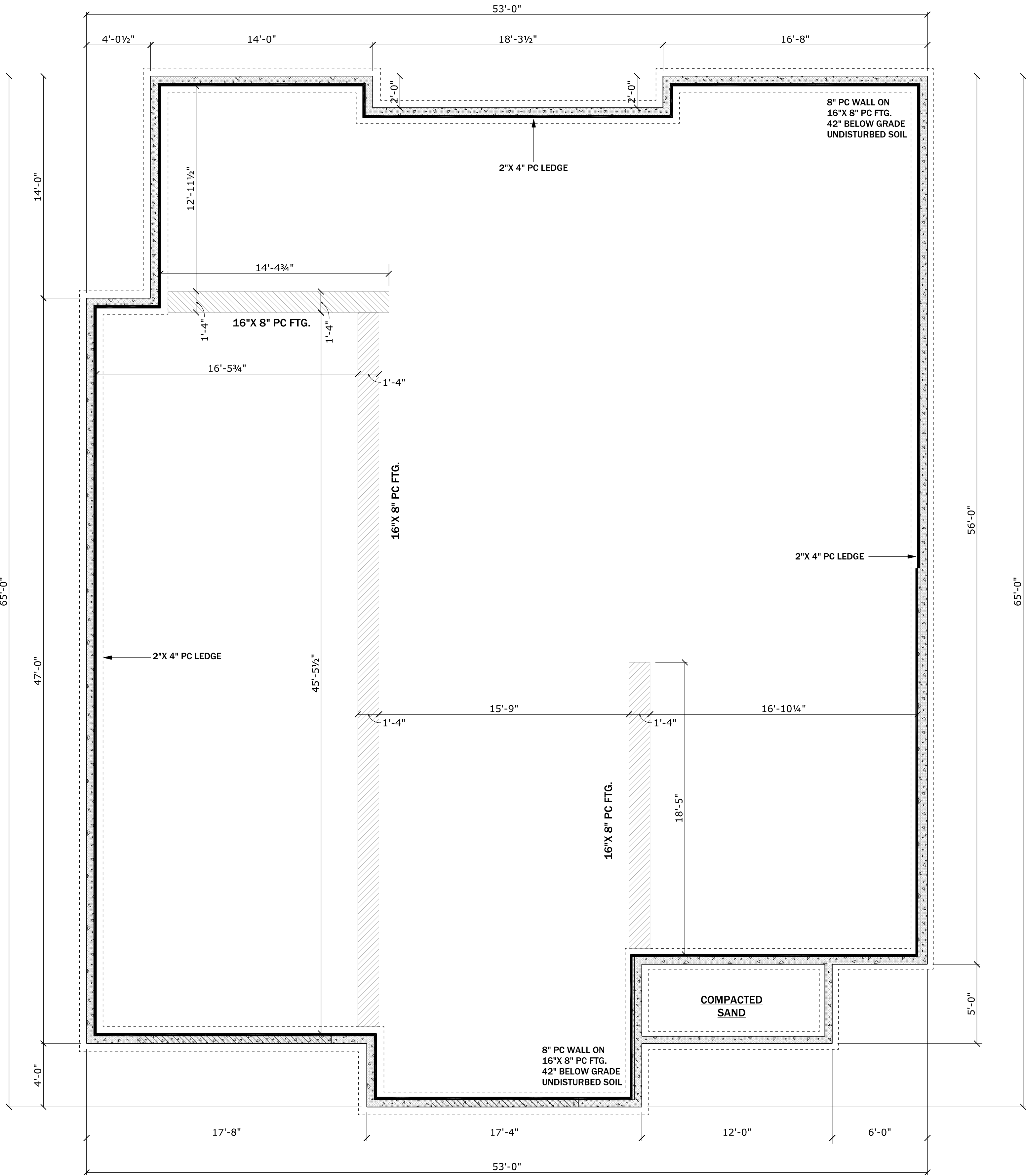
ALL FOOTINGS MUST REST ON SAFE, UNDISTURBED EARTH BELOW THE FROST LINE.

MASONARY/CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADE OF CONCRETE MATERIAL, CONFORMITY, EXACTNESS OF DIMENSIONS, LEVELNESS, PARALLELISM AND SQUARENESS.

FOOTINGS DESIGNED FOR MIN. 2000 P.S.F. SOIL BEARING PRESSURE.

ALL FINAL ELEVATION HEIGHTS AND WALL LENGTHS OF FOUNDATION WALLS SUCH AS WALKOUT OR DAYLIGHT WALLS TO BE DETERMINED BY EXCAVATOR OR BUILDER BASED ON GRADE HEIGHTS.

ELEVATIONS AND PC WALLS WILL BE DETERMINED BY THE ACTUAL SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR



BUILDER:



PROJECT:

ADDRESS:

BYRON CENTER, MI.

NOTES:

NO.	DATE:	ISSUE DESCRIPTION				
		1	2	3	4	5
1	4-7-25	REVIEW				

WHILE GREAT CARE AND EFFORT HAS BEEN TAKEN IN THE DESIGNING, DETAILING, AND CHECKING FOR ERRORS OF THIS PLAN, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. OWNER, CONTRACTOR, AND SUB-CONTRACTOR ARE RESPONSIBLE TO VERIFY ALL DIMENSIONS, MATERIALS OF CONSTRUCTION, AND COMPLIANCE WITH GOVERNING STATE AND LOCAL BUILDING CODES BEFORE BEGINNING CONSTRUCTION.

SCALE: 1/4" = 1'

SHEET #5

STAIR SPECS.

(3) 2X12 STRINGERS
1 1/8" PARTICLE BOARD TREADS
1X8 PINE RISERS (RIP TO FIT)
6'-8" MINIMUM HEADROOM

ENGINEERING DATA

SOIL BEARING 2000 PSF
CONCRETE fq 3000 PSI
REINFORCING fy 600000 PSI
LUMBER (DIMENSIONAL) fb 1200 PSI

DESIGN LOADS

ROOF LIVE 35 PSF (GSL)
ROOF DEAD 17 PSF
FLOOR LIVE 40 PSF
FLOOR DEAD 15 PSF
BALCONIES LIVE 60 PSF
SLEEPING AREA LIVE 40 PSF
WIND 115 MPH EXP. "B"
IMP. FACTOR 1.0

ROOF STRUCTURE

30 YR. DIMENSIONAL SHINGLES
15# FELT
1/2" OSB SHEATHING
ICE & WATER SHIELD @ VALLEYS
ENGINEERED TRUSSES @ 24" O.C.
R-39 MIN. INSULATION (PER CONTRACTOR)
5/8" CEILING DRYWALL - TAPED & SANDED

BUILDING CODES

CONFORM TO ALL APPLICABLE BUILDING CODES AND LOCAL STATUTES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

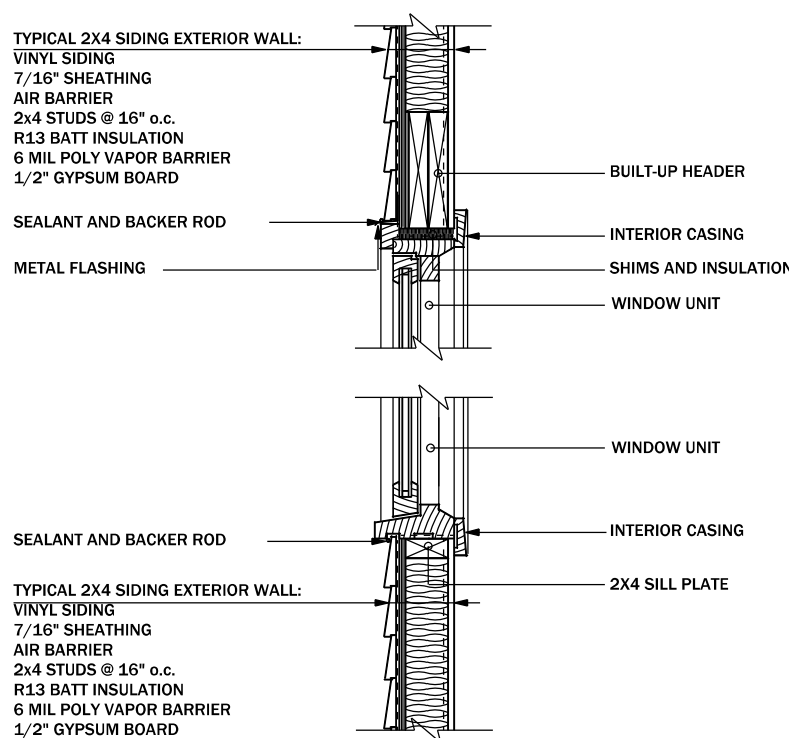
BUILDING CODE: MICHIGAN BUILDING CODE, RESIDENTIAL 2015
MECHANICAL CODE: MICHIGAN BUILDING CODE, RESIDENTIAL 2015
PLUMBING CODE: MICHIGAN BUILDING CODE, RESIDENTIAL 2015
ELECTRICAL CODE: N.E.C. 2014
LIFE SAFETY CODE: N.F.P.A. 101
ACCESSIBILITY CODE: MICHIGAN BUILDING CODE, RESIDENTIAL 2015
ENERGY CODE: MICHIGAN BUILDING CODE, RESIDENTIAL 2015

INSTALL APPROVED CORROSION-RESISTIVE FLASHING IN THE FOLLOWING LOCATIONS:

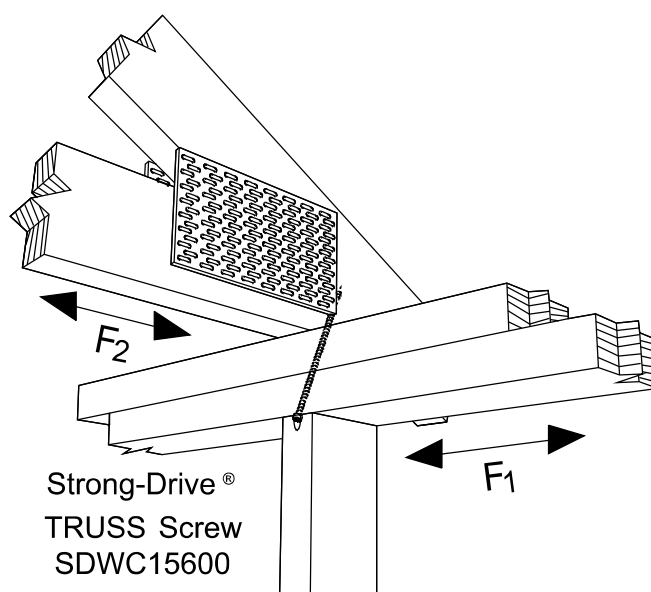
AT TOP OF ALL WINDOW AND DOOR OPENINGS.
AT INTERSECTION OF CHIMNEY WITH FRAMING.
WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.

GENERAL WALL NOTES

1. PROVIDE STUD SIZE AND SPECIES PER STRUCTURAL DRAWINGS
2. ALL WOOD EXPOSED TO THE EXTERIOR SHALL BE PRESERVATIVE PRESSURE TREATED. ALL FASTENERS IN TREATED WOOD SHALL BE HOT DIPPED ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL.
3. ALL INTERIOR WALLS TO RUN TIGHT TO DECK UNLESS OTHERWISE NOTED
4. USE MOISTURE RESISTANT (MR) GYPSUM BOARD AT TOILET ROOMS, KITCHENS, JANITORS CLOSETS, AND OTHER WET AREAS.
5. PROVIDE CONTOL JOINTS IN GYP. WALLBOARD PER MANUFACTURERS SPECIFICATIONS. (TYPICALLY 25'-30' O.C.)
6. PROVIDE BLOCKING IN WALLS FOR ALL WALL MOUNTED FIXTURES INCLUDING COUNTERTOPS, BINDER BINS, CABINETS, TACKBOARDS.
7. USE CEMENT BOARD AS BACK UP IN WET SHOWER/BATHTUB STALLS
8. MAXIMUM VARIATION IN STUD FRAMING IN WALLS THAT SUPPORT CERAMIC TILE SHALL NOT EXCEED 1/4" IN 10'-0" FROM REQUIRED PLANE.



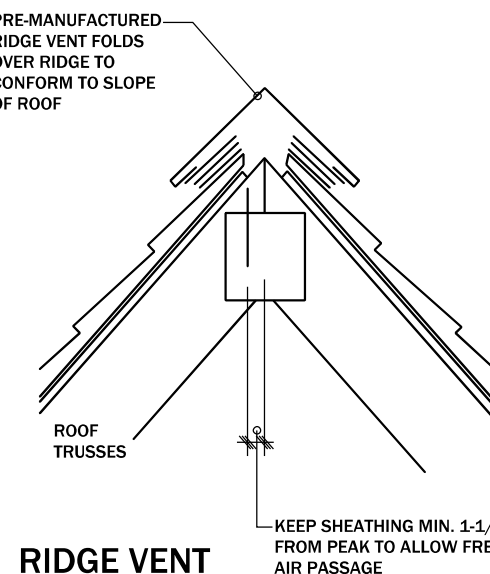
2x4/SIDING HEADER & SILL



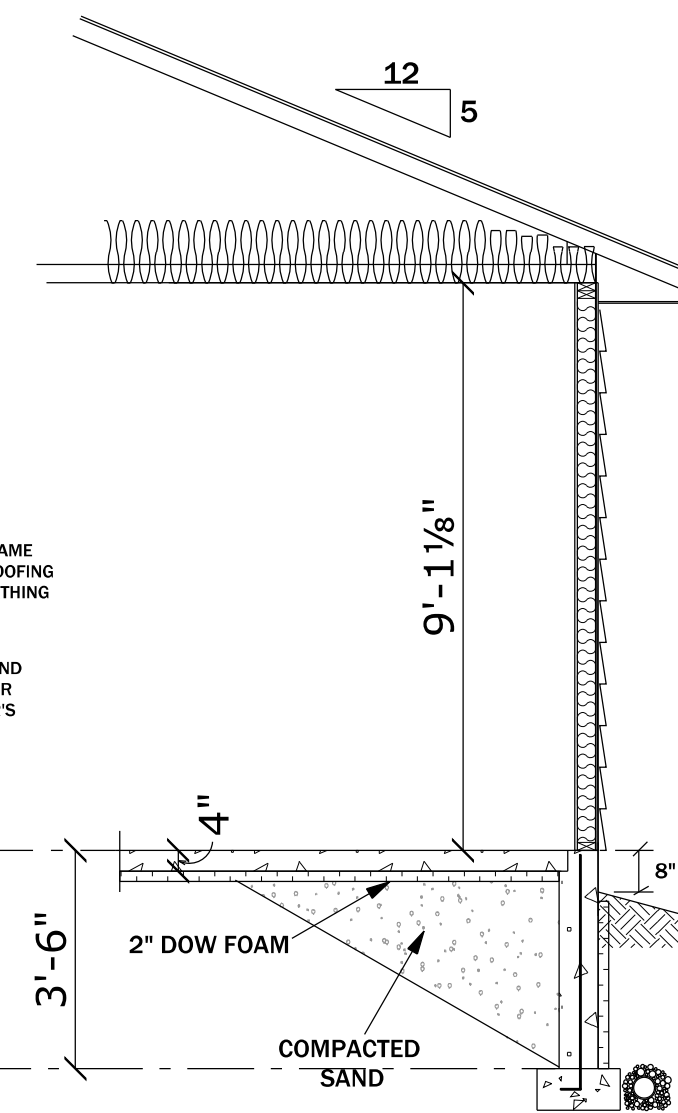
Strong-Drive® TRUSS Screw SDWC15600

NOTE THAT "DORMER" STYLE THROUGH-ROOF EXHAUST VENTS MAY BE PROVIDED IN ADDITION TO OR IN LIEU OF RIDGE VENTS INDICATED.

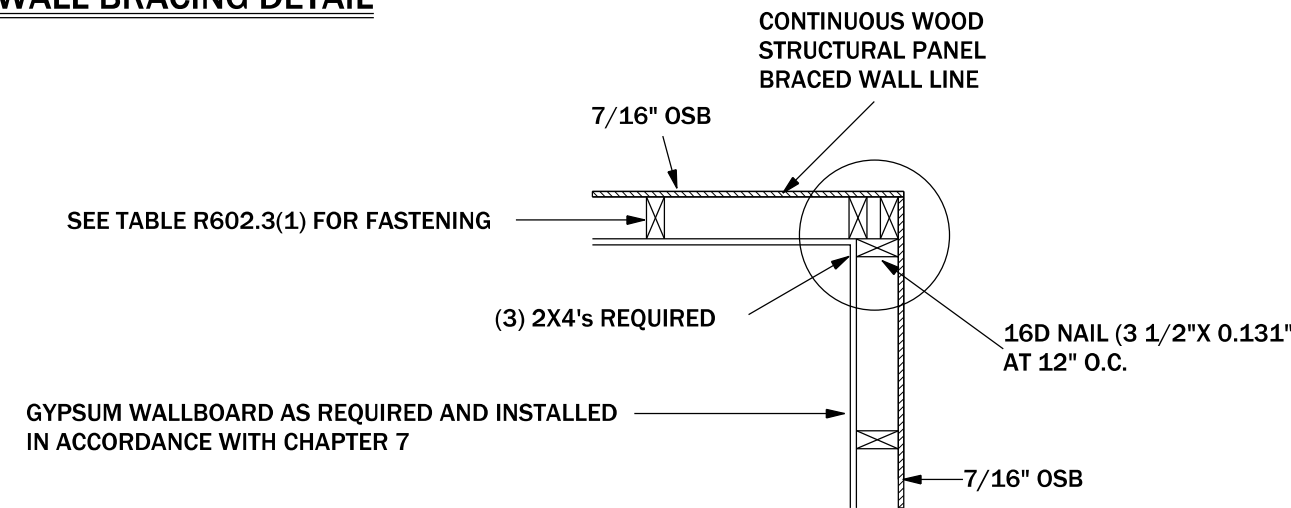
MIN. 26 SQ. FT. (3800/150 = 25.33) VENTILATION AREA REQ'D



RIDGE VENT

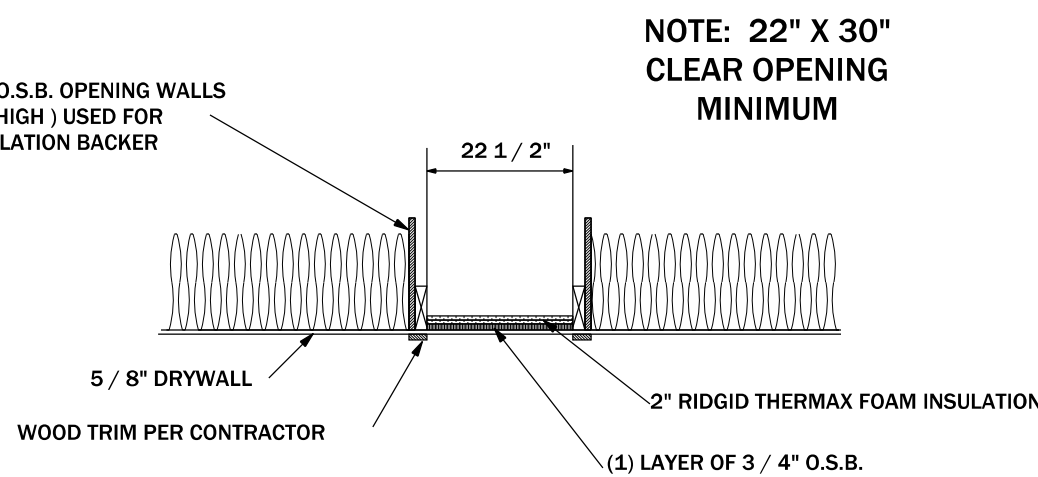


GARAGE WALL BRACING DETAIL



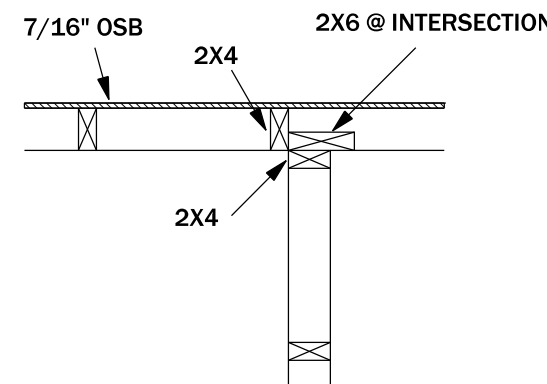
FRAMING DETAIL

EXTERIOR CORNER
W/ 2X4 STUD WALLS 16" O.C.



ATTIC ACCESS DETAIL

NOT TO SCALE:



FRAMING DETAIL

EXTERIOR "T" INTERSECTION
W/ 2X4 STUD WALLS 16" O.C.

ROOF / CEILING SYSTEM

ROOF VENTILATION 1:300 OF THE CLG. AREA UNIFORMLY DISTRIBUTED.
15# FELT SHINGLE UNDERLAYMENT
ICE AND WATER SHIELD ENTIRE ROOF
INSULATED WALL MINIMUM.
30 YEAR DIMENSIONAL SHINGLES
1/2" OSB SHEATHING
PRE-ENGINEERED ROOF TRUSSES
BAFFLE AS REQUIRED FOR ROOF VENTILATION
R-39 INSULATION MINIMUM.
5/8" GYPSUM BOARD ON CEILING
R-12 INSULATION (MIN.) ABOVE INNER FACE OF EXTERIOR WALL.

SOFFIT SYSTEM

METAL DRIP EDGE
2X6 SUB FACIA
ALUMINUM VENTED SOFFIT

WALL SYSTEM

DOUBLE TOP PLATE
2 X 4 X 104-0 5/8" STUDS @ 16" O.C.
1/2" GYPSUM DRYWALL
BLOWN CELLULOSE INSULATION
7/16" OSB EXTERIOR WALL SHEATHING
TYVEK HOUSE WRAP (HOUSE AND GARAGE)
INTERIOR PRIMER / MOISTURE BARRIER
SINGLE BOTTOM PLATE

8' FOUNDATION WALL

#5 RE-ROD VERTICAL @ 36" O.C.

#4 RE-ROD HORIZ. @ 24" O.C.

42" OR 48" FOUNDATION WALL

#4 DOWEL AT 4' O.C.

1 ROW #4 RE-ROD HORIZ.

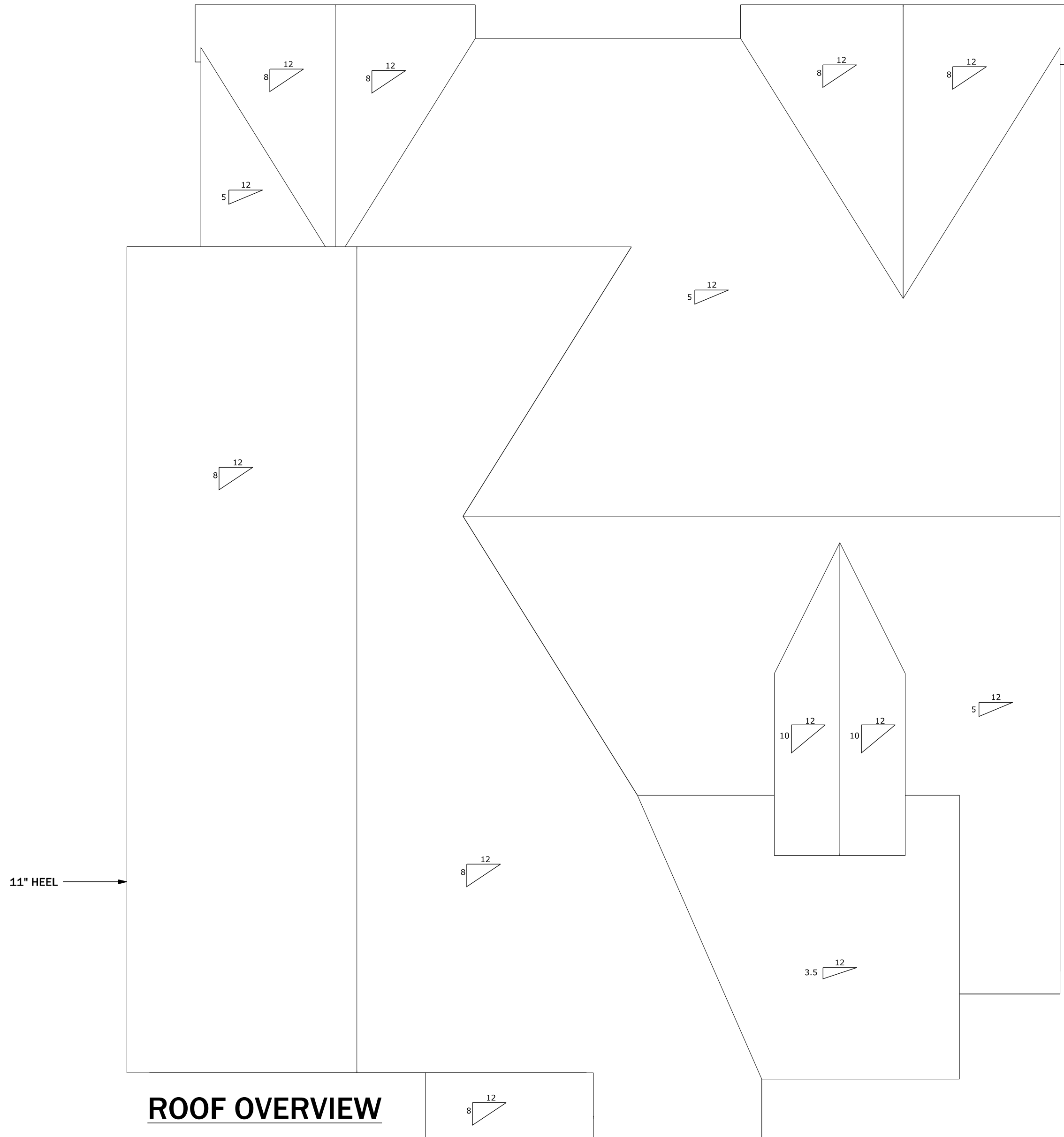
SLOPE GRADE AWAY FROM STRUCTURE

3 1/2" POURED CONCRETE FLOOR

6 MIL. POLY VAPOR BARRIER

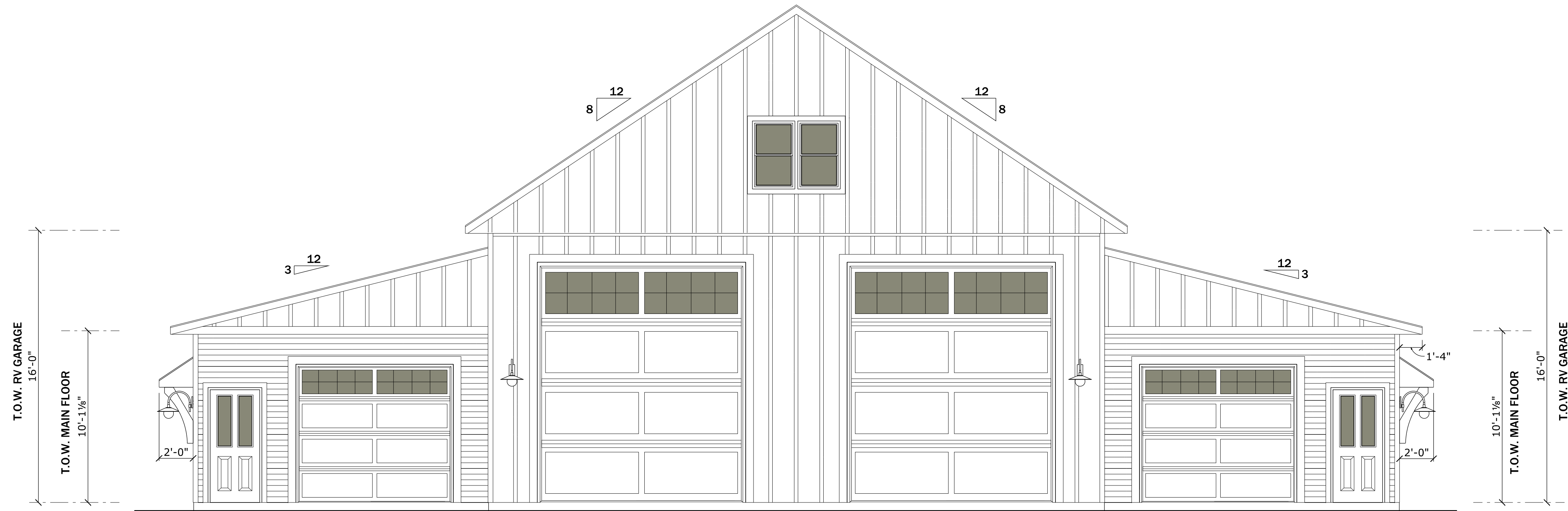
4" DIAMETER TILE W/ PEA GRAVEL IF REQUIRED

POURED CONCRETE FOOTING TO BEAR ON UNDISTURBED SOIL.



ROOF OVERVIEW

16" OVERHANGS - 12" RAKES
5" HEEL ON 3.5/12 - MATCH FASCIA



FRONT ELEVATION



RIGHT ELEVATION

W

Walker Residential
Design

walkerbrad2@gmail.com
(616) 891-7558

BUILDER:

JAG
DEVELOPMENT

PROJECT:

ADDRESS:

410 76th St.
BYRON CENTER, MI.

NOTES:

ISSUE DESCRIPTION	DATE:	NO.				
REVIEW	5-19-25	1				

WHILE GREAT CARE AND EFFORT HAS BEEN TAKEN IN THE DESIGNING, DETAILING, AND CHECKING FOR ERRORS OF THIS PLAN, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. OWNER, CONTRACTOR, AND SUB-CONTRACTOR ARE RESPONSIBLE TO VERIFY ALL DIMENSIONS, MATERIALS OF CONSTRUCTION, AND COMPLIANCE WITH GOVERNING STATE AND LOCAL BUILDING CODES BEFORE BEGINNING CONSTRUCTION.

SCALE: 1/4" = 1'

SHEET #1



REAR ELEVATION



LEFT ELEVATION

W

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NOTES:

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SCALE: 1/4" = 1'
SHEET #2